

AGENDA
CITY OF FREDERICKSBURG
PLANNING & ZONNING COMMISSION

Wednesday, January 3, 2018

5:30 P.M.

LAW ENFORCEMENT CENTER, 1601 E. MAIN ST.

1. Call to Order
2. Approve minutes from the December 2017 Regular Meeting

PUBLIC HEARING

3. (Z-1713) An Ammendment to the existing Planned Unit Development to accommodate new signange for Curbside Pickup

ACTION ITEM

4. Receive Recommendation and Consider Z-1713

ADJOURN

**STATE OF TEXAS
COUNTY OF GILLESPIE
CITY OF FREDERICKSBURG**

**PLANNING & ZONING COMMISSION
DECEMBER 6, 2017
5:30 P.M.**

On this the 6th day of December, 2017 the PLANNING AND ZONING COMMISSION convened in regular Session at the Law Enforcement Center with the following members present to constitute a quorum:

PRESENT:

JANICE MENKING
JIM WARREN
JIM JARREAU
TIM DOOLEY
DARYL WHITWORTH
STEVE THOMAS

ABSENT:

CHRIS KAISER
BILL PIPKIN
BRENDA SEGNER

ALSO PRESENT:

BRIAN JORDAN – Director of Development Services
DANIEL JONES – City Attorney
KRIS KNESSE – Assistant Director of Public Work
SHELBY COLLIER – Development Coordinator

Janice Menking called the meeting to order at 5:30 P.M.

PUBLIC HEARING

Consider (Z-1711) A change in the Land Use Plan from Commercial, to Medium Density Residential and Rezone property from M-1, Light Manufacturing to R2, Mixed Residential for several properties located between Walnut Street and Hale Street west of Kraupehan Street.

Motion made to open Public Hearing by Jim Jarreau seconded by Jim Warren. All voted in favor and the motion carried.

Brian Jordan, Director of Development, explained to the Commission that the original request consisted of 11 properties of various sizes within the block and a half west of Kraupahen Street, between Walnut Street and Hale Street. The Commission directed City Staff to include the four properties previously left out of the Zoning Change Request in the new request. If the Commission recommends approval this request will be heard by City council on December 18, 2017.

Dwayne Cheeseman requested clarification of what properties are requesting to be rezoned.

Brian showed the proposed zoning map and explained the properties requesting the change.

Helen Jacoby stated she would like the neighborhood to stay as it is now. She does not wish to see any more commercial business come into this area. Spoke in support.

Motion made to close Public Hearing by Tim Dooley seconded by Jim Jarreau. All voted in favor and the motion carried.

ACTION ITEM

Jim Jarreau asked Brian if the Commission recommended approval, what time line does the proposed restaurant development have to build their project

Brian stated once a formal approval is given, the restaurant would have 2 years to start construction.

Motion made to recommend approval of Application Z-1711 A change in the Land Use Plan from Commercial, to Medium Density Residential by Jim Warren seconded by Tim Dooley. All Voted in favor and the motion carried.

Motion made to recommend approval of Application Z-1711 Rezone property from M-1, Light Manufacturing to R2, Mixed Residential for several properties located between Walnut Street and Hale Street west of Kraupehan Street by Jim Warren seconded by Jim Jarreau. All voted in favor and the motion carried.

Consider (SP-1622) Site Plan for Hilda's Restaurant at 149 FM 2093.

Juan Valdez, engineer for the project, presented the application. He showed images of the proposed site plan. He explained the project would include a 1,900 sq. ft. addition to expand the kitchen/production area. There are not additional parking spaces required and the owner would like to start as soon as possible.

Brian explained that this was the second attempt at a Site Plan due to the first attempt triggering the installation of a sprinkler system for the entire building that Hilda's did not want to work with. Therefore, they have presented this site plan. Hilda's has a need to expand their production room. The proposed Site Plan will add 1,867 sq. ft. to the existing 4,242 building. They are not expanding the dining area so it does not trigger additional parking requirements. They currently have 38 total parking spaces, 20 are required. City Staff recommends approval

Tim Dooley asked what triggers the sprinkling requirement. Brian stated he was not certain the number, but knew a percentage of the square footage is the basis.

Motion made to recommend approval of Application SP-1622 by Tim Dooley. Seconded by Jim Warren. All voted in favor and the motion carried.

Consider (SP-1713) Site Plan for Wellness Court Medical at Wellness Court and West Windcrest Dr.

Mark Cornett presented the application. He explained he decided to provide a Site Plan for the entire site to give buyers the ability to visualize a project. The proposed is for 4 separate buildings totaling 34,000 sq. ft. The Fire Marshal has approved the fire access. Mark is happy with the parking provided as well as the ease of access to the various sites.

Brian explained that Mark is correct that the Fire Marshal has approved the fire access provided. The Building coverage as proposed covers 16%, this site has a maximum allowed of 50%. The parking

required is 1 space per 300 sq. ft., resulting in a minimum of 113 spaces. Mark has provided 232 spaces. City Staff recommends approval conditioned upon a Landscape Plan.

Tim Dooley asked when the project would start construction. Mark stated he would be going out for bids in early January. He hopes to have a building permit submitted late December.

Motion made to recommend approval of Application SP-1713 by Jim Jarreau. Seconded by Tim Dooley. All voted in favor and the motion carried.

Consider (SP-1719) Site Plan for Ford Townhomes in the 700 Block of East Highway Street.

Kevin Spraggins, VEI Consulting Engineers, presented the application. This is a proposed 13 condo development with one entry/exit. The proposed layout allows for fire turnaround. There is adequate parking. This development is intended for those looking for a second home or an older couple looking for less maintenance.

Brian stated that the project as presented consists of 13 condos that are 2 bedroom units on 1.44 acres. They are 1300 sq. ft. each and meet City requirements. 2 parking spaces per unit are required resulting in 26 total spaces. They have provided 26 spaces including 2 handicap spaces. A Landscape Plan will need to be provided as well as Screening

Tim Dooley asked when they planned to start construction. Kevin stated they are aiming for the first quarter of 2018.

Motion made to recommend approval of Application SP-1719 by Tim Dooley. Seconded by Jim Jarreau. All voted in favor and the motion carried.

MINUTES

Jim Jarreau moved to approve the minutes of the November, 2017 meeting and Jim Warren seconded The motion. All voted in favor and the motion carried.

ADJOURN

With nothing further to come before the Commission, Tim Dooley moved to adjourn. Daryl Whitworth seconded the motion. All voted in favor and the meeting was adjourned at 6:17 p.m.

PASSED AND APPROVED this 3rd day January, 2017.

SHELLEY BRITTON, Secretary

JANICE MENKING, Chairman

ZONING AMENDMENT BRIEF

Request # Z-1713

OWNER: HEB Grocery Company, L.P.

APPLICANT: Mark Vaclavik

SIZE: 10.3 acres

LOCATION: 407 S. Adams Street

EXISTING ZONING: PUD, Planned Unit Development

PROPOSED CHANGE: Amend the PUD Plan to allow changes in the signage for the new curbside pick-up.

FINDINGS:

- The existing store is located on approximately 10.3 acres.
- The existing store is approximately 78,000 square feet in size, with an addition of 1,500 square feet planned, for a total building area of 79,500 square feet.
- Approximately 476 parking spaces are provided.
- In 2011, the applicant requested an amendment to the PUD to add a shade canopy over the sidewalk in front of the building, between the two entrances, and add a single diesel fueling dispenser island under a canopy cover near the fueling area. The shade canopy was approved and the fuel dispenser was denied.
- The purpose of this request is to modify the PUD to allow for curbside pick-up signage not anticipated originally.

HEB PUD Zoning Summary:

12/3/2001 - Original PUD and Conditional Use Permit approved

9/6/2002 - Administrative Approval of an amendment to the circulation around the pharmacy

10/25/2002 - Administrative approval of an amendment to the parking and drive located on the eastern portion of the site near Ufer Street.

12/18/2006 - City Council approval of an amendment to the PUD allowing for an outdoor sales area in the parking lot.

4/15/2011 - Administrative approval of a building addition on the east side of the existing building near the pharmacy drive-through.

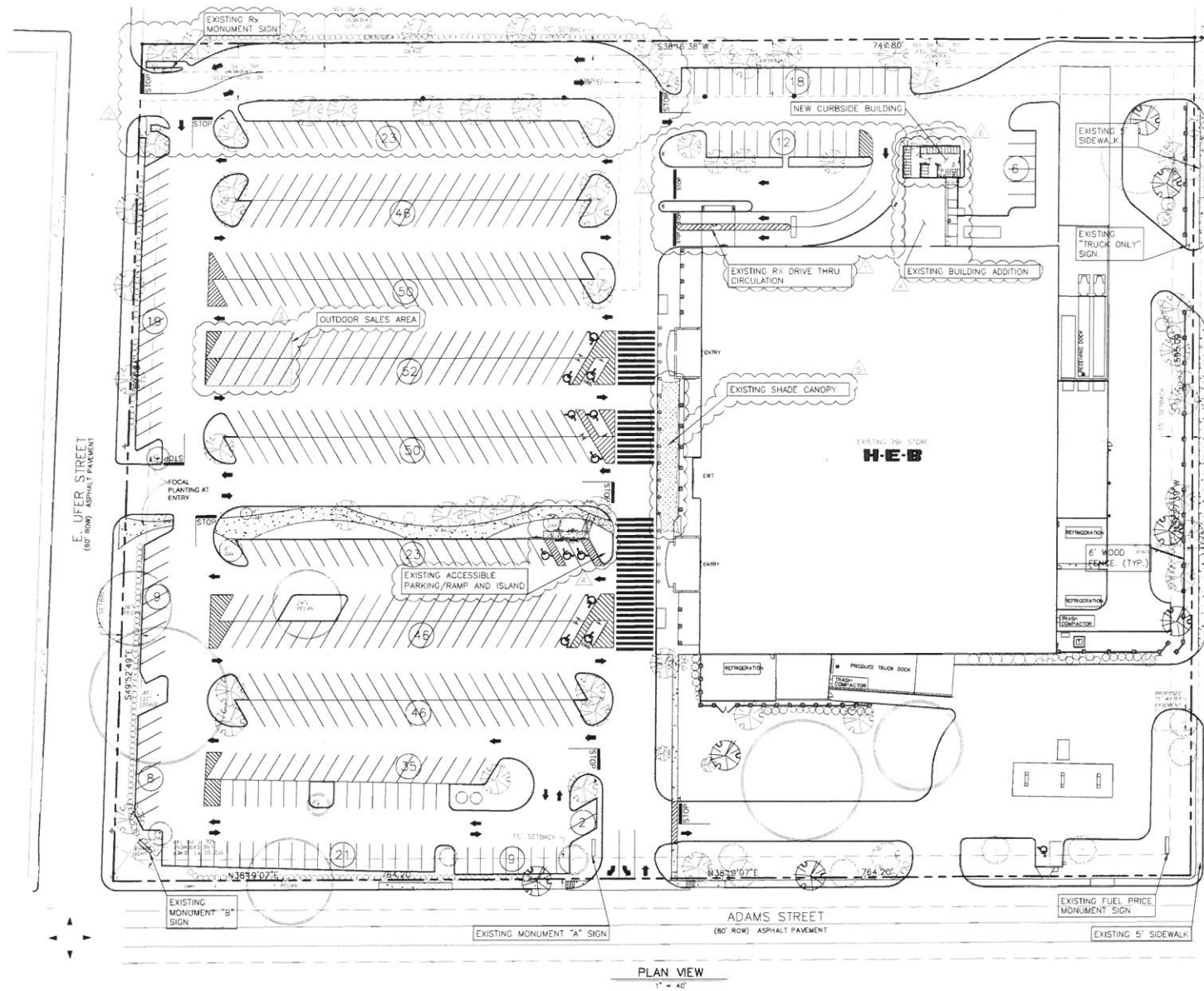
6/20/2011 - PUD amendment approved to allow the shade canopy over the area in front of the store.

10/27/2017- Administrative approval for the addition of a 954 square foot curbside pick-up building on the east side of the site near the drive-through pharmacy.

STAFF COMMENTS: The small pre-fabricated building is proposed to accommodate the additional service of curbside pick-up at the existing HEB store. This particular service is being provided at a number of other HEB stores and is apparently the new trend. The staff has already approved the Site Plan to allow the new building, but the PUD amendment will be to allow a revision to the signage necessary to direct customers to the new facility.

OPPOSITION/SUPPORT OF REQUEST: No comments have been received.

STAFF RECOMMENDATION: Staff recommends approval of the PUD amendment to allow the revision in the signage proposed to accommodate the new curbside pick-up building addition.

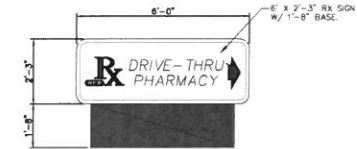


LEGEND

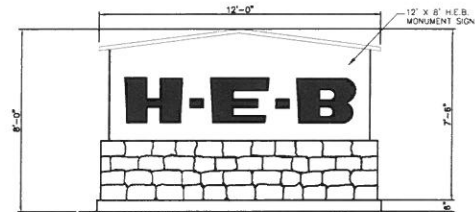
- EXISTING TREE TO BE PRESERVED
- EXISTING SHRUBS TO BE PRESERVED
- ⊗ EXISTING SHADE TREE
- EXISTING SHRUB SCREEN

FREDERICKSBURG LANDSCAPE ORDINANCE COMPLIANCE

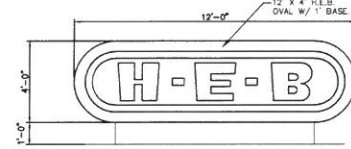
- REQUIRED LANDSCAPING ADJACENT TO PUBLIC R.O.W.
1 TREE / 50 LF OF R.O.W.
E. UFER STREET = 14 REQUIRED TREES / 5 ARE EXISTING
ADAMS STREET = 15 REQUIRED TREES / 8 ARE EXISTING
PARK STREET = 14 REQUIRED TREES / 2 ARE EXISTING
PLANTING SCREEN GREATER THAN OR EQUAL TO 2'-0" HT
- PERIMETER LANDSCAPING RELATED TO ADJUTING PROPERTIES
1 TREE / 75 LF OF PROPERTY LINE = 10 TREES REQUIRED
PLANTING SCREEN LESS THAN OR EQUAL TO 8'-0" HT
- PARKING AREA INTERIOR LANDSCAPING
MINIMUM OF 10 SF OF INTERIOR LANDSCAPING FOR EACH PARKING SPACE
304 INTERIOR PARKING SPACES = 3,040 SF LANDSCAPED AREA REQUIRED /
IN EXCESS OF 14,000 SF PROPOSED
1 TREE / 100 SF OF LANDSCAPED AREA = 39 TREES REQUIRED / 10 ARE EXISTING
28 ARE NOW 4" CALIF. SH. TREES
- LANDSCAPED PRESERVATION
NUMBER OF EXISTING TREES TO BE PRESERVED ON SITE - 26



EXISTING RX MONUMENT SIGN ELEVATION - TYPE C
N.T.S.



EXISTING H-E-B MONUMENT SIGN ELEVATION (0/7)-"A"
N.T.S.



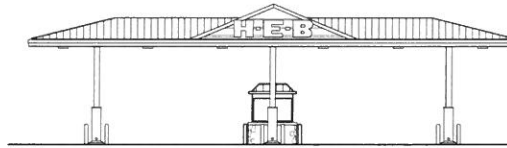
EXISTING MONUMENT SIGN ELEVATION (0/7)-"B"
N.T.S.

SITE SUMMARY

LAND AREA:	10.323 ACRES
TOTAL H.E.B. BUILDING AREA:	79,500 S.F.
BUILDING EXPANSION:	945 S.F.
TOTAL BUILDING AREA:	80,445 S.F.
SECURED PARTNER PARKING:	NO
DRIVE THRU PHARMACY:	YES (2 LANE)

PARKING SUMMARY

PARKING RATIO REQUIRED:	200:1
PARKING REQUIRED:	402 SPACES
PARKING PROVIDED:	476 SPACES
HANDICAP PARKING REQUIRED:	8 SPACES
HANDICAP PARKING PROVIDED:	12 SPACES
PARTNER PARKING:	N/A
PARKING RATIO:	169:1
(TOTAL BUILDING AREA/TOTAL SPACES)	



EXISTING FUEL STATION CANOPY ELEVATION
N.T.S.



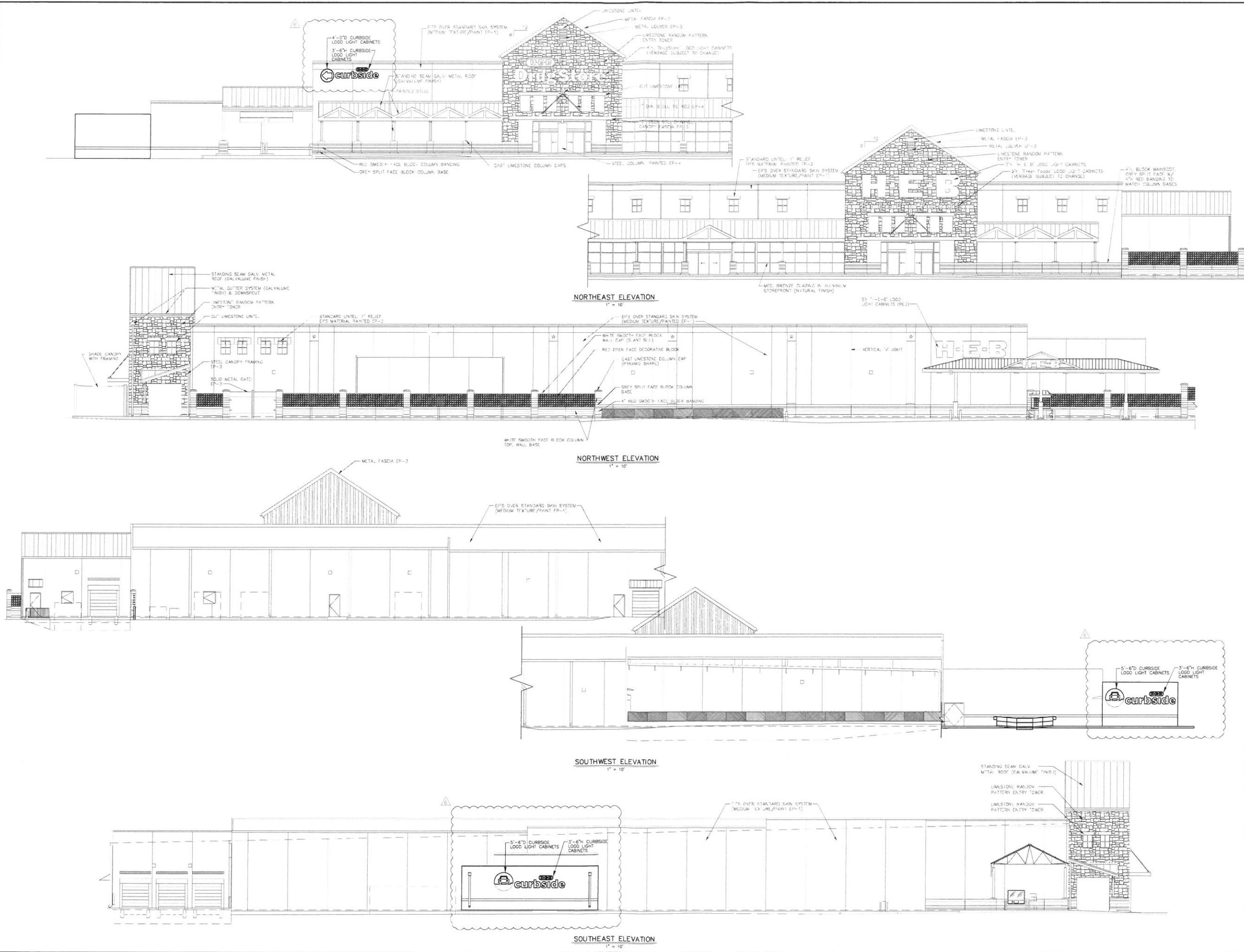
EXISTING MONUMENT SIGN ELEVATION (0/7)
N.T.S.

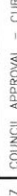
SCALE: AS NOTED
CONTRACT NO. 2022-10722
DATE: 11-08-17
SHEET NO. 1

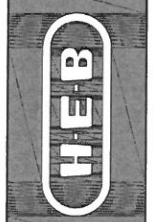
PLANNED UNIT DEVELOPMENT
H-E-B GROCERY STORE
FREDERICKSBURG
FREDERICKSBURG, TEXAS

Stantec
70 NE Loop 410, Suite 1100
The Woodlands, TX 77380-1000
Tel: (281) 525-4000 Fax: (281) 525-4009
www.stantec.com
11/08/17
Bentley 6.0.6.0

COUNCIL APPROVAL - CURBSIDE BUILDING SIGN
COUNCIL APPROVAL - SHADE CANOPY
ADMINISTRATIVE APPROVAL - BUILDING ADDITION
COUNCIL APPROVAL (ORD. 16-014) OUTDOOR SALES
ADMINISTRATIVE APPROVAL - PARKING DRIVE ON EAST BOUNDARY
ADMINISTRATIVE APPROVAL - RX DRIVE THRU CIRCULATION
ORIGINAL PUD/CUP APPROVAL



SCALE: AS NOTED SHEET NO. 2 DATE: 11-08-17 SHEET NO. 2	PLANNED UNIT DEVELOPMENT		 H.E.B. GROCERY STORE FREDERICKSBURG, TEXAS
11/08/17 06/20/11 04/15/11 12/18/06 10/25/02 09/05/02 12/03/01	COUNCIL APPROVAL - CURBSIDE BUILDING SIGN		 CITY OF FREDERICKSBURG 11/17/07
	COUNCIL APPROVAL - SHADE CANOPY		
	ADMINISTRATIVE APPROVAL - BUILDING ADDITION		
	COUNCIL APPROVAL/ORD. 16-014 OUTDOOR SALES		
11/08/17 06/20/11 04/15/11 12/18/06 10/25/02 09/05/02 12/03/01	COUNCIL APPROVAL - PARKING/DRIVE ON EAST BOUNDARY		ORIGINAL PUD/CUP APPROVAL
	ADMINISTRATIVE APPROVAL - RX DRIVE THRU CIRCULATION		



ATTACHMENT "A"

HEB
ZONING NOTES

June 20, 2011

Planned Unit Development (PUD)

- 1) No building shall be erected at any location in the PUD other than the building locations shown on the PUD Plan.
- 2) Access from the PUD to Adams Street, E. Ufer Street, and E. Park Street shall be at the locations and widths as shown on the PUD Plan.
- 3) Trees shown to be saved on the PUD Plan shall not be removed unless diseased or dead.
- 4) Fire hydrants shall meet N.F.P.A. requirements.
- 5) No use shall be allowed within the PUD other than those uses listed on the PUD Plan or on the attachment hereto entitled Permitted Uses.
- 6) Drive-thru facilities (other than those shown on the PUD Plan) associated with any permitted use shall require a Conditional Use Permit or site plan review.
- 7) Building heights shall not exceed 35 feet above the finished floor slab.
- 8) All utility lines within the PUD site shall be installed underground, except those installed by the utility company.
- 9) Parking spaces shall be provided as shown on the PUD Plan.
- 10) All City codes, ordinances and regulations shall apply to the PUD except as expressly provided to the contrary as shown on the PUD Plan or in these and other notes to the plat.
- 11) Off-site drainage improvements along E. Ufer Street and along S. Llano were provided by the first and second PUD applications to accommodate the run-off from the PUD to the Barons Creek. These improvements mitigated the need for on-site detention.
- 12) All grounds within the PUD shall be maintained as to collection of trash, debris, litter and weeds.
- 13) All landscaped areas shall provide curbing or other protection from vehicular encroachment.
- 14) The owners, tenants, and their agents, if any, shall be jointly and severally responsible for the maintenance of all landscaping provided for under this PUD. All landscaping shall be maintained in good condition so as to present a healthy, neat, and orderly appearance and shall be kept free from refuse and debris. All landscaping areas shall be provided with underground or drip irrigation systems.

- 15) All businesses shall provide suitable trash and refuse storage areas which are designed and constructed to prevent direct view from the street or parking lot and to prevent refuse from being displaced about the site onto adjacent properties or public right-of-way and to permit safe, easy removal of refuse by truck or hand.
- 16) Entry ramps and curbing was provided by the first and second PUD applications along Adams Street (SH 16) and Ufer Street. Additional sidewalk, entry ramps and curbing shall be provided along E. Park Street to City and Texas Accessibility Standard specifications.
- 17) Landscaping provided in the PUD shall meet the minimum requirements as to size and species as outlined in the City of Fredericksburg Zoning Ordinances unless otherwise noted on the PUD Plan. The landscape ordinance requires 34 additional trees for the parking area interior landscaping section of the ordinance. These 34 trees will be 4" caliper in size. Additional trees will be provided for the areas adjacent to public Right-of-Ways and for perimeter areas related to abutting property. These trees will be a minimum of 1.5" caliper in size.
- 18) Signs shall be allowed in the PUD as specified in the attachment hereto entitled "Permitted Signs".
- 19) The Contractor shall be responsible for protecting all trees which are to remain during construction per City guidelines.
- 20) Paving under existing tree driplines shall be aerated.
- 21) Proposed uses to include those commercial uses permitted by Section 3.700 of the Zoning Ordinance.
- 22) Hwy 16 S. turn lane per site plan was provided as part of the first and second PUD applications.
- 23) Hwy 16 S. and E. Ufer Street traffic signal was provided as part of the first and second PUD applications.
- 24) No exterior lighting (pole or wall mounted) shall produce intense glare, or direct illumination across the bounding property line from a visible source of illumination of such intensity as to create a nuisance or detract from the use or enjoyment of adjacent property. All outside lights shall be made up of a light source/reflector so selected that acting together the light beam is controlled and not directed across any bounding property line.
- 25) A supplemental landscape plan which specifically addresses the landscape treatment of the area on the Adams Street side of the building is attached hereto and labeled "Supplemental Landscape Plan". In considering this area, a mixture of evergreen canopy and ornamental trees and shrubs shall be utilized to enhance the visual appearance of the building wall from the street.

26) Outdoor Sales shall be permitted in the area cross-hatched and marked "Outdoor Sales Area" on the Site Plan Exhibit B, dated November 8, 2006. The sales area, which is approximately 2500 square feet in size shall be enclosed by moveable CMU block and/or landscape timbers or better, and shall be limited to the display of seasonal sales merchandise. Additionally, no boxed items will be permitted in such area.

27) A permanent shade canopy shall be permitted within the front sidewalk specifically in the location shown on the site plan. The posts will be located within the sidewalk, not in the vehicle drive.

ATTACHMENT "B"

SIGNS H.E.B. PUD FREDERICKSBURG, TEXAS June 20, 2011

BUILDING SIGNS

- All sign letters shall be individual as noted above.
- "H.E.B." sign shall be letters 84" high as shown on the submitted exterior elevation study.
- "Fresh Foods" shall be upper and lower case letter size of 24" with appropriate lower case lettering as per the submitted exterior elevations study.
- "Drug Store" shall be upper and lower case letter size of 48" plus 36" H. x 9' L. oval.
- "Curbside" logo on the NW corner of the front façade to the main store building shall be an overall dimension of 4'-6 1/8" x 17'-6 5/8" with a 4' dia. left arrow disk, a 6 3/4" x 3'-9 9/16" HEB oval, and lowercase Curbside letters 2'-1 1/4" high or less.
- "Curbside" logo on the Curbside building shall be an overall dimension of 5'-6" x 20'-11 3/4" with a 66" dia. Curbside Disk, a 1'-5 3/4" x 4'-4 1/4" HEB oval, and lowercase Curbside letters 2'-5" high or less.

SITE SIGNS

Monument Sign

- Sign face shall be back lit with internal fluorescent lighting. Faces shall be formed and embossed plastic.
- Sign shall be of size and height as indicated on the attached drawing.

Pharmacy Drive-Thru

- Wall mounted sign shall be 3'-6" x 3'-6" "Rx" logo with 2 rows of 12" upper and lower case internally illuminated.
- Faces shall be translucent acrylic.
- Ground mounted signs shall be 6'-0" x 2'-3" with 1'-8" H. base as detailed on attached site plan.

- Sign faces shall be back lit with internal fluorescent lighting. Faces shall be formed and embossed plastic.

Monument Sign A:

- 8'H. x 12' W. with 24" H. base. "HEB" Logo, internally illuminated.
- Stone base to match store.

Monument Sign B:

- Relocate existing 4'H. x 12' W. with 12" H. base.

Job Name:



☒ Proposal Drawing
☐ Final Drawing

Client: HEB Grocery Co LP
Location: 407 South Adams,
Fredericksburg, TX 78624
Salesperson: Pete S.
Pri. Mgr.: Cindy M.
Date: 9/6/17
Designer: Andrew Sifuentes
File Name: 34346 HEB 561
Fredericksburg CSide WS-
Pkg Lot
Proposal #: 34346
Job #:

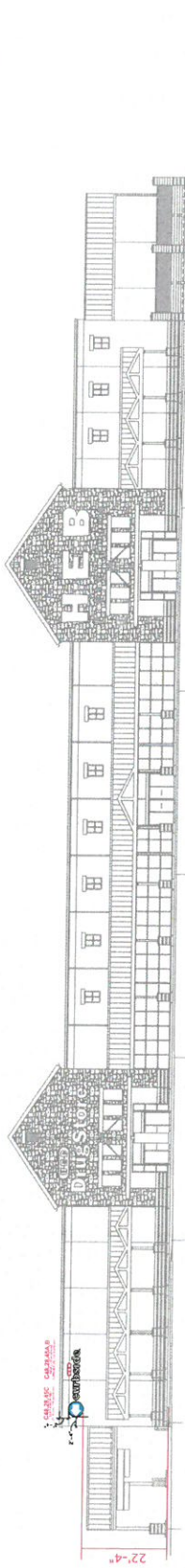
Revisions



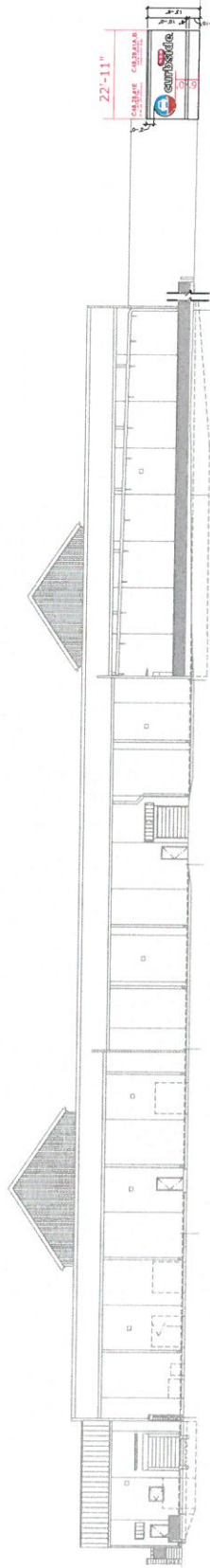
License #: 18010

Corporate Office
1605 West Loop
2335 West Loop
Houston, TX 77056
Ph: (281) 492-6581
Fax: (281) 492-6581
Sales / Service Office
1338 S. Irving Heights Dr.
Irving, TX 75060
Ph: (972) 670-1584
Sales / Service Office
2906 Greenbush Rd.
Houston, TX 77064
Ph: (281) 492-6581
Sales / Service Office
2487 S. Irving Heights Dr.
Irving, TX 75060
Ph: (972) 670-1584

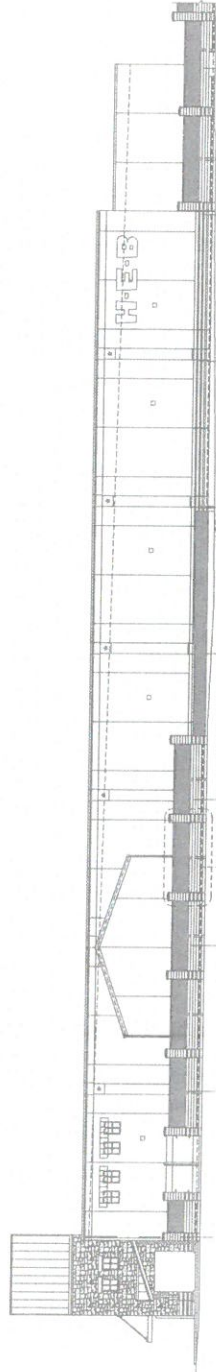
THIS DRAWING IS THE EXCLUSIVE
PROPERTY OF COMET SIGNS, LLC. ANY USE
WITHOUT WRITTEN AUTHORIZATION FROM
COMET SIGNS, LLC IS PROHIBITED.
PROHIBITED. OWNERSHIP AND COPYRIGHT
RESERVED. TRADEMARKS AND COPYRIGHT
NOTES.



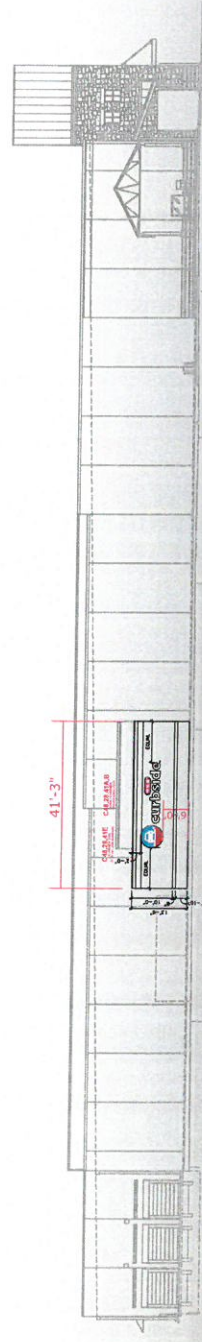
Front Elevation



Rear Elevation



Right Side Elevation



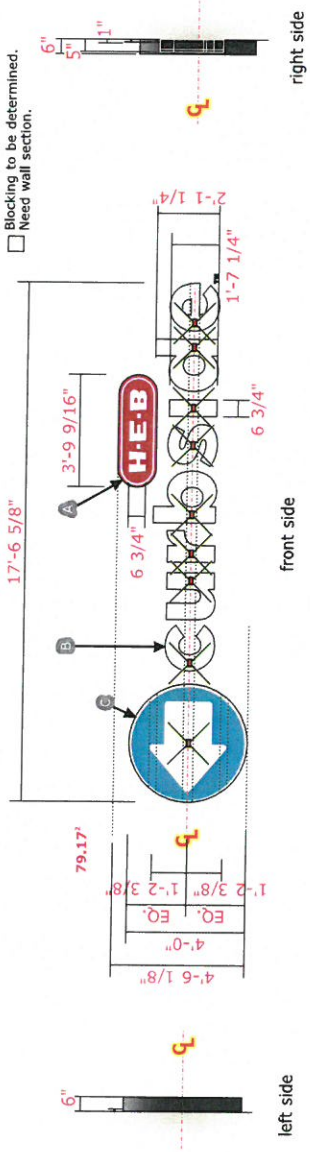
Left Side Elevation

C48.28.45C
LEFT ARROW DISK:
(5" Lt can, .125 aluminum)

C48.28.45A,B
HEB (.125 aluminum)
CURBSIDE (lit., .125 aluminum)

120V

- ☐ 3/4" plywood blocking required to cover entire sign area - by General Contractor (not included by Comet Signs).
- ☐ Blocking not required.
- ☐ Blocking to be determined.
- ☐ Need wall section.

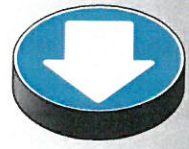


A QTY: 1
CHANNEL CURBSIDE & ARROW DISK
Scale: 1/4"=1'-0"

- COLORS**
- HEB pill: White letters with pms red # 485C background; back-side & spacers- pms red # 485C.
 - Disk: Face: pms blue # 3125@ 100% & white; returns:black.
 - "Curbside": Face- white # 7328; trim caps & returns- black. "TM": white # 7725-10.
- LEGEND**
- A .125 aluminum with digital print vinyl (non-lit); 1" standoff; stud-mounted.
 - B Aluminum channel returns & backs; 3/16" acrylic illuminated trim caps; internally illuminated by white LED. "TM" is flat cut out .125 aluminum with vinyl overlay.
 - C See section.

ELECTRICAL LOAD	
No. Circuits:	1
Voltage:	120
Amps:	1.6
Circuit Breaker:	20 amp
KVA:	.19

UV laminate gloss finish

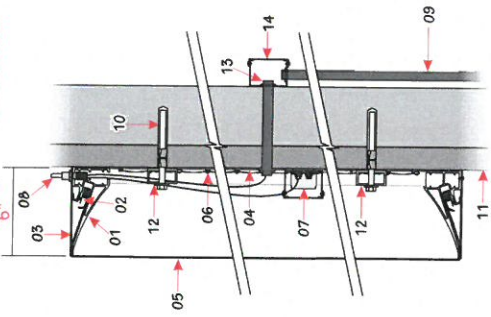


Primary electrical location

- Match pms 485C.
- Match pms 3125@ 100%.
- White.
- Black.

Color description is for reference only. Samples provided upon request after order placement.

Pre-wiring required behind wall



- 01 Frame: Sign Comp 6" flat bleed tension body.
- 02 Tension clips.
- 03 Cover: Sign Comp 6" flat bleed face tension cover.
- 04 Back: .125 aluminum.
- 05 Face: Flex with digital print graphics.
- 06 Lighting: White LED.
- 07 Power supplies: 12volt LED power supply inside galvanized box.
- 08 Disconnect switch.
- 09 Primary electrical: Pre-wired primary electrical inside waterproof conduit - by electrical contractor. Leave 6'-0" pigtail of conduit extending from wall.
- 10 Fasteners: 3/8" dia. x 5" long (min.) bolts.
- 11 Wall.
- 12 Stringers & Horizontal Stringers: 1" x 2" x .125" aluminum rectangular tubes.
- 13 Electrical thru wall & electrical jumps within wireway.
- 14 Fabricated aluminum wireway.

SECTION THRU DISC Scale: N.T.S.

Job Name:



☒ Proposal Drawing
☐ Final Drawing

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Pkg Lot
Proposal #: 34346
Job #:

Revisions



License #: 18010

Corporate Office
2335 Walnut Turnpike
Houston, TX 77064
Ph: (281) 492-8581
Fax: (281) 492-8581
1336 S. Irving Heights Dr.
Houston, TX 77060
Ph: (281) 870-1594
2806 Graham Street
Houston, TX 77064
Ph: (281) 492-8581
2487 S. Irvnng Heights Dr.
Houston, TX 77060
Ph: (281) 870-1594

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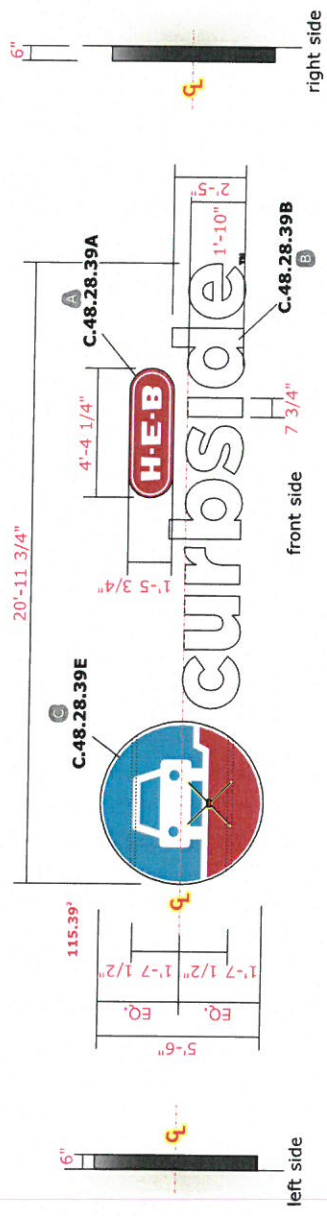
C48.28.41E
CURBSIDE DISK:
(5" Lit can, .125 aluminum)

C48.28.41A,B
HEB LOGO / CURBSIDE:
(heat-transfer vinyl)

120V

Back side to be painted black if it is to be visible.

- ☐ 3/4" plywood blocking required to cover entire sign area - by General Contractor (not included by Comet Signs).
- ☐ Blocking not required.
- ☐ Blocking to be determined.
- ☐ Need wall section.



CHANNEL DISK
B
QTY: 2

Scale: 1/4"=1'-0"

- A** Heat-transfer vinyl copy.
- B** Heat-transfer vinyl copy.
- C** See section.

COLORS

- HEB pill: white letters with pms red # 485C background; back-side & spacers- pms red # 485C.
- Disk: Face: pms blue # 3125@ 100%, white & pms red # 485C; returns: black.
- "Curbside" & "TM": white.

UV laminate gloss finish



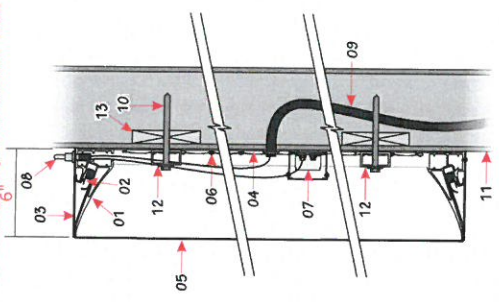
- Match pms 485C.
- Match pms 3125@ 100%.
- White.
- Black.

Color description is for reference only. Samples provided upon request after order placement.

Primary electrical location

Note to GC: blocking to be centered with items # 12 (horizontal stringers inside of disc).

Pre-wiring required within wall



- 01 Frame: Sign Comp 6" flat bleed tension body.
- 02 Tension clips.
- 03 Cover: Sign Comp 6" flat bleed face tension cover.
- 04 Back: .125 aluminum.
- 05 Face: Flex with digital print graphics.
- 06 Lighting: White LED.
- 07 Power supplies: 12volt LED power supply inside galvanized box.
- 08 Disconnect switch.
- 09 Primary electrical: Pre-wired primary electrical inside wall conduit - by electrical contractor. Leave 6'-0" pigtail of conduit extending from wall.
- 10 Fasteners: 3/8" dia. x 5" long (min.) bolts.
- 11 Wall.
- 12 Strengtheners & Horizontal Stringers: 1" x 2" x .125" aluminum rectangular tubes.
- 13 Blocking: 2" x 12" wood.

ELECTRICAL LOAD	
No. Circuits:	1
Voltage:	120
Amps:	2.9
Circuit Breaker:	20 amp
KVA:	.35

Job Name: _____

H-E-B

☒ Proposal Drawing
☐ Final Drawing

Client: HEB Grocery Co LP
Location: 407 South Adams,
Fredericksburg, TX 78624
Salesperson: Pete S.
Date: 9/6/17
Designer: Andrew Sifuentes
File Name: 34346 HEB S61
Fredericksburg CSide WS-
Pkg Lot
Proposal #: 34346
Job #:

Revisions

Comet Signs

License #: 18010

Corporate Office
2300 W. Loop 4849, 18
Austin, TX 78746
Ph: (512) 678-2800

San Antonio Branch
2300 W. Loop 4849, 18
San Antonio, TX 78216
Ph: (214) 341-7244

Dallas Branch
13400 Preston Road, Suite 100
Dallas, TX 75240
Ph: (972) 870-1594

Houston Branch
2300 W. Loop 4849, 18
Houston, TX 77054
Ph: (281) 498-6661

Austin Branch
2300 W. Loop 4849, 18
Austin, TX 78746
Ph: (512) 678-2800



**NOTICE OF PUBLIC HEARING FOR
AN AMENDMENT TO THE PLANNED UNIT DEVELOPMENT**

HEARING

DATE: **JANUARY 3, 2017**

TIME: **5:30 PM**

REQUEST

NUMBER: **Z-1713**

The **PLANNING & ZONING COMMISSION** of the City of Fredericksburg will hold a public hearing at the above stated time and date in the conference room of the Law Enforcement Center, 1601 E. Main St., to consider a request for a change in the Land Use Plan and a change in Zoning.

According to Tax Records, you are the owner of real property within 200' of the proposed change. You are **not** required to attend the meeting, but if you care to attend, you will be given full opportunity to be heard. If you cannot attend the hearing, but wish to comment on the request, please detach the response form below and return it to the City of Fredericksburg, 126 W. Main St., Fredericksburg, TX 78624. All protests must be submitted in writing.

The decision of the **PLANNING & ZONING COMMISSION** is a recommendation only. Final approval must be by action of the **CITY COUNCIL**. The public hearing by the **CITY COUNCIL** is scheduled as follows:

HEARING

DATE: **JANUARY 15, 2017**

TIME: **6:00 PM**

REQUEST

NUMBER: **Z-1713**

For additional information, contact Director of Development Services, Shelby Copllier at 830-997-7521.

APPLICANT: Mark Vaclavik

LOCATION: 407 S. Adams

(see accompanying map)

REQUEST: Amend the existing Planned Unit Development to accommodate new signage for curbside pickup.

(DETACH BELOW)

REQUEST NO. Z-1713

As an interested property owner, I (Protest)(Approve) the requested zoning amendment represented by the above file number because:

Signed

Date

Printed Name

Address

Z-1713



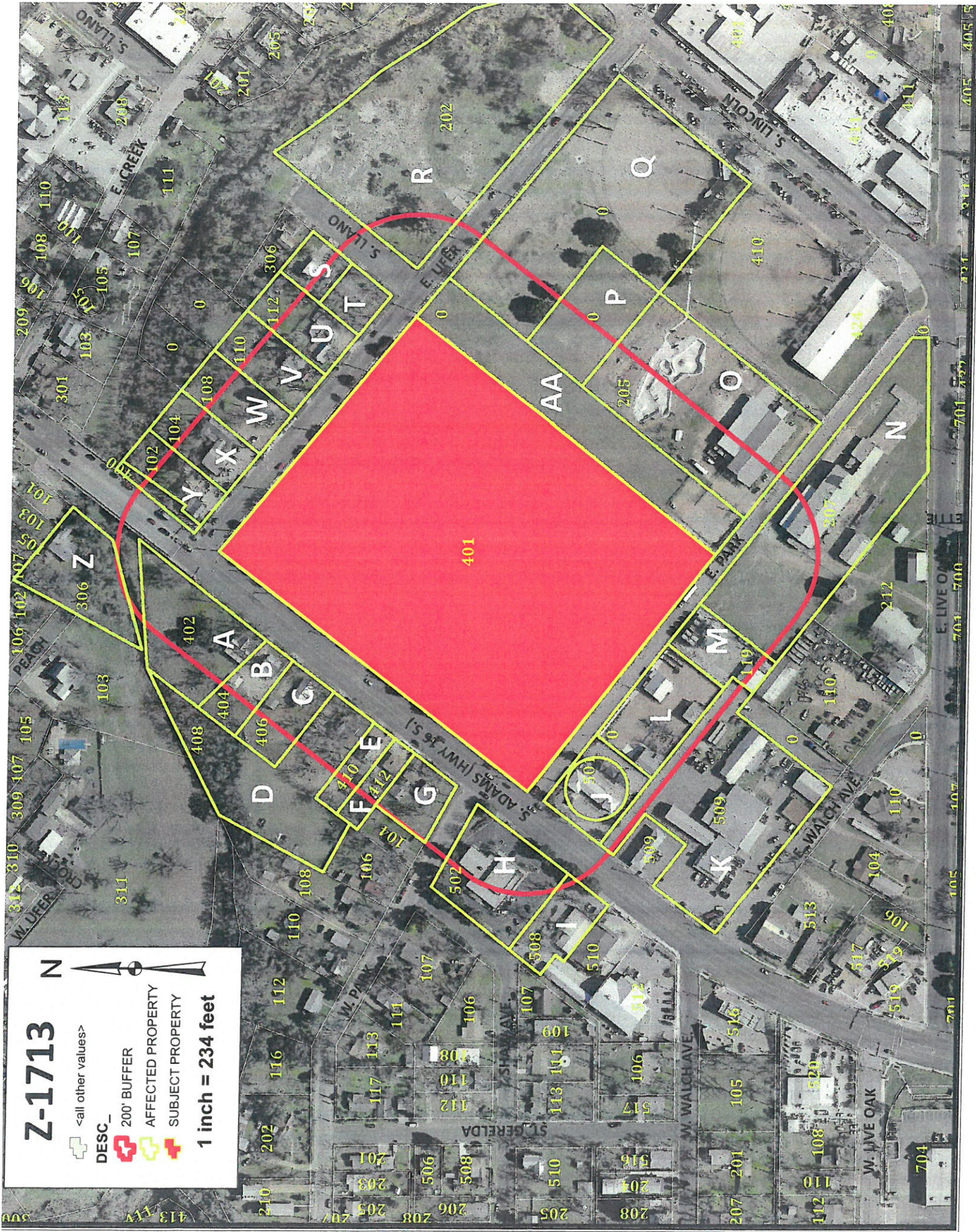
DESC_

200' BUFFER

AFFECTED PROPERTY

SUBJECT PROPERTY

1 inch = 234 feet



Letter	Owner	Address
A	KENNETH KELLER	302 W. MULBERRY FREDERICKSBURG, TX 78624
B	KARLA BURG	809 S. RANCH RD 1623 STONEWALL, TX 78671
C	ROMARA LTD	912 ROMARA LTD FREDERICKSBURG, TX 78624
D	DAVID TRAN	1209 JENNIFER LN FREDERICKSBURG, TX 78624
E	DAVID TRAN	1209 JENNIFER LN FREDERICKSBURG, TX 78624
F	STEPHEN & CAROL FELLER	2619 VALLEY MANOR KINGWOOD, TX 77339
G	MARGARET CERVANTES LIFE ESTATE	414 S. ADAMS FREDERICKSBURG, TX 78624
H	ARROWHEAD BANK	108 W. SANDSTONE ST LLANO, TX 78642
I	BLAKER HOLDINGS LLC	185 FANNIN DR KERRVILLE, TX 78028
J	A & JD RANCHING LLC	11306 JANUARY DR AUSTIN, TX 78753
K	STROEHER & SON INC	509 S. ADAMS FREDERICKSBURG, TX 78624
L	SUPPLY POINT INC	3564 FM 2093 FREDERICKSBURG, TX 78624
M	STROEHER & SON INC	509 S. ADAMS FREDERICKSBURG, TX 78624
N	BRAVO 14 LLC	P.O. BOX 2778 FREDERICKSBURG, TX 78624
O	CITY OF FREDERICKSBURG	126 W. MAIN FREDERICKSBURG, TX 78624
P	CITY OF FREDERICKSBURG	126 W. MAIN FREDERICKSBURG, TX 78624
Q	CITY OF FREDERICKSBURG	126 W. MAIN FREDERICKSBURG, TX 78624
R	CMC BARONS CREEK LTD	5121 BEE CAVE RD STE 207 AUSTIN, TX 78746
S	HAMUK LLC	P.O. BOX 294059 KERRVILLE, TX 78028
T	HAMUK LLC	P.O. BOX 294059 KERRVILLE, TX 78028
U	HAMUK LLC	P.O. BOX 294059 KERRVILLE, TX 78028
V	HAMUK LLC	P.O. BOX 294059 KERRVILLE, TX 78028
W	HAMUK LLC	P.O. BOX 294059 KERRVILLE, TX 78028
X	PAUL & DOROTHY PANACECK	537 CRENWELGE RD FREDERICKSBURG, TX 78624
Y	PAUL & DOROTHY PANACECK	537 CRENWELGE RD FREDERICKSBURG, TX 78624
Z	WILLIAM BOHNERT	306 S. ADAMS FREDERICKSBURG, TX 78624
AA	HEB GROCERY COMPANY	P.O. BOX 839999 SAN ANTONIO, TX 78283
Z-1713		



Project Application

City of Fredericksburg - Development Services Department
126 W. Main St., Fredericksburg, TX 78624 – (830)997-7521

E-1713

A. Project Information (Please complete all items.)

Project Name: HEB Curbside - Fredericksburg

Project Address: 407 South Adam Street, Fredericksburg TX 78624

Tax ID Number (s): 74-3010657 (Federal)

Application Type (Check all items that apply.)

- | | | |
|---|--|--|
| ☐ Conditional Use Permit | ☐ Minor Plat* | ☐ Plat Vacation |
| ☐ Site Plan* | ☐ Replat* | ☐ Annexation* |
| ☐ Zoning Change | ☐ Amending Plat* | ☒ Other (PUD Plan Amendment) |
| ☐ Land Use Plan Change | ☐ Preliminary Plat* | ☐ Waiver of Right to
30-day action |
| ☐ Variance Request | ☐ Final Plat* | |
| | ☐ Development Plat | |

Revision of Approved Plan / Plat? ☐ Yes ☒ No Name:

Jurisdiction: ☒ City Limits ☐ ETJ

Total Acres: 10.323

No. of Lots: 1

Original Survey & Abstract No: VACA, A - 171707

Legal Description: HEB-FREDBG SUBD LOT 1, 10.323

Current Land Use Plan: General Retail Sales

Proposed Land Use Plan:

General Retail Sales

Current Zoning: PUD

Proposed Zoning: PUD

Location: 407 South Adam Street, Fredericksburg TX 78624

Proposed Use(s): Grocery Store

CNH 78614

Applicant's Signature

Applicant's Role: ☒ Owner ☐ Developer ☐ Other (note role):

I hereby certify that the information supplied with this application is true and correct, and that the paper and electronic copies of the materials submitted are consistent with each other, to the best of my knowledge. I also certify I have authorization from the owner to act on his / her behalf.

Signature: Mark Vaclavik

Printed Name: Mark Vaclavik

Date: 11/14/2017

Staff Use Only

Application No.: _____ Date: _____

*Copy of current Title Search required with application.



Project Application

City of Fredericksburg - Development Services Department
126 W. Main St., Fredericksburg, TX 78624 – (830)997-7521

B. Contact Information (Please complete all items. Attach additional pages as necessary.)

I. Property Owner(s)

Firm Name (if applicable): HEB Grocery Company

Owner Name: Butt, H E Grocery Co #561

Address: PO Box 839999, San Antonio TX 78283

Phone:

Fax:

Email:

II. Owner's Agent/Engineer/Surveyor (Main contact person responsible for application)

Role: ☐ Agent ☒ Engineer ☐ Surveyor ☐ Other (note role):

Firm Name (if applicable): Stantec

Address: 70 NE Loop 410, Suite 1100, San Antonio, TX 78216

Primary Contact Name: Richard Garza

Phone: 210-525-9090

Fax:

Email: Richard.garza@stantec.com

Secondary Contact Name:

Phone:

Fax:

Email:

III. Applicant

Firm Name (if applicable): HEB Grocery Company

Applicant Name (s): Mark Vaclavik

Address: 646 South Flores Avenue

Phone: 210-938-0897

Fax:

Email: vaclavik.mark@heb.com

IV. Applicant's Agent/Engineer/Surveyor (Main contact person responsible for application)

Role: ☐ Agent ☒ Engineer ☐ Surveyor ☐ Other (note role):

Firm Name (if applicable): Stantec

Address: 70 NE Loop 410, Suite 1100, San Antonio TX 78216

Primary Contact Name: Richard Garza

Phone: 210-525-9090

Fax:

Email: Richard.garza@stantec.com