



CITY OF FREDERICKSBURG

REGULAR PLANNING AND ZONING AGENDA WEDNESDAY, APRIL 7, 2021 ~ 5:30 P.M. **ROCKBOX THEATER at 109 N. LLANO ST**

Janice Menking, Chair
Jim Jarreau, Member
Daryl Whitworth, Member
Brenda Segner, Member
Jeff Lawrence, Member

Chris Kaiser, Member
Jill Tabor, Member
Tim Dooley, Vice Chair
Steve Thomas, Member

The City of Fredericksburg Planning and Zoning will meet in a regular session on **Wednesday, April 7, 2021, at 5:30 p.m. The meeting will be in person at the Rockbox Theater at 109 N. Llano St.** This meeting will be held in person and live stream on our YouTube Channel.

Link to City of Fredericksburg YouTube Channel Fredericksburg, Texas USA - YouTube

<https://www.youtube.com/channel/UCrhnIFjVfDS1SPBJD2pYKcQ/featured>

1. CALL TO ORDER

2. ROLL CALL

3. APPROVAL OF MEETING MINUTES

March 2021 regular meeting minutes

4. PUBLIC COMMENTS

NOTE: The Texas Open Meetings Act permits a member of the public or a member of the governmental body to raise a subject that has not been included in the notice for the meeting. However, any discussion of the subject must be limited to a proposal to place the subject on the agenda for a future meeting and any response to a question posed to the City Council is limited to either a statement of specific information or recitation of existing policy. TEX. GOV'T CODE § 551.042.

Written Comments: to be submitted remotely:

1. Must be received by 2 p.m. on March 9, 2021.
2. Complete the Citizen Comment Form online at www.fbgtx.org; or
3. Email your comments to scollier@fbgtx.org

Verbal Comments:

1. Sign up in-person between 5:00 p.m. and 5:30 p.m. at the Rock Box Theater in order to comment.

You will be limited to 3 minutes to speak.

The Planning and Zoning Commission (P&Z) welcomes public comments concerning items on this agenda. Each member of the public who desires to address the P&Z regarding an item on this agenda is required to sign up to speak, prior to the start of the meeting. All public comments shall be limited to discussion of items on this agenda and shall be limited to 3-minutes in duration. At the discretion of the P&Z Chair, or upon an affirmative vote of the P&Z, the public comment time limit applicable to all speakers may be lengthened or shortened as required to allow the P&Z to complete its legislative agenda. Persons addressing the P&Z are prohibited from trading time with other speakers or reserving of time.

5. ACTION ITEMS

- A. Consider P-2105 – Request by Kevin Spraggins on behalf of Fredericksburg Land Holdings, LLC for a Final Plat of the Lost Draw Subdivision located on West Live Oak Street, East of Kerr Road.
- B. Consider SP-2102 – Request by Whitney Koch on behalf of Woerners Warehouse for an off-site parking agreement for a Site Plan located at 405 E. Live Oak Street.
- C. Consider SP-2103 – Request by Andy Bray on behalf of Riparian Research Corporation for a Site Plan for a Multi-Family Residential Project located at 813 Wellness Court.
- D. Consider Z-2101 – Request by John Needham with Seco Enterprises LLC for Annexation and Requested Zoning of a Planned Unit Development (PUD) for Approximately 5.044 Acres of Land Located on the West Side of South Eagle Street, Approximately 1,000 Feet South of the Southwest Corner of Friendship Lane and South Eagle Street.

6. ADJOURN

This is to certify that I, Shelby Collier, posted this Agenda before 5:00 PM. on April 1, 2021 on the entrance door and bulletin board at the City of Fredericksburg City Hall, 126 W. Main St., Fredericksburg, Texas.

Shelby Collier

Shelby Collier,
Development Coordinator

**STATE OF TEXAS
COUNTY OF GILLESPIE
CITY OF FREDERICKSBURG**

**PLANNING & ZONING COMMISSION
March 3, 2021
5:30 P.M.**

On this the 3rd day of MARCH 2021 the PLANNING AND ZONING COMMISSION convened in regular Session via Zoom with the following members present to constitute a quorum:

PRESENT: JANICE MENKING
BRENDA SEGNER
JEFF LAWRENCE
TIM DOOLEY
JIM JARREAU
JILL TABOR
STEVE THOMAS
DARYL WHITWORTH

ABSENT: CHRIS KAISER

ALSO, PRESENT: JASON LUTZ – Director of Development Services
GARRET BONN – City Engineer
DANIEL JONES – City Attorney
ANNA HUDSON – Historic Preservation Officer
SHELBY COLLIER – Development Coordinator

Janice Menking called the meeting to order at 5:30 P.M.

MINUTES

Jim Jarreau moved to approve the minutes of the February 2021 meeting and Jill Tabor seconded the motion. All voted in favor and the motion carried.

PUBLIC HEARING

Consider Z-2101 – Request by John Needham with Seco Enterprises LLC to Change the Zoning from Mixed Use Residential Zoning District (R2) to a Planned Unit Development (PUD) for Approximately 27.491 Acres of Land Located at the Southwest Corner of Friendship Lane and South Eagle Street.

Brenda Segner recused herself.

Motion to open Public Hearing made by Tim Dooley seconded by Daryl Whitworth. All voted in favor and the motion carried.

Joshua Needham presented the application. He stated this project is a Multi-family development with a focus on affordable housing and also provides single family units for rent.

Kelly Musselman spoke in protest of the project.

Buzz White spoke regarding concerns for the area. He stated the intersection at South Eagle and Friendship is busy and is concerned that a large development would make the intersection more dangerous.

Motion to close Public Hearing made by Jim Jarreau seconded by Steve Thomas. All voted in favor and the motion carried.

Jason Lutz, Director of Development, stated as discussed, the applicant is requesting several changes to accommodate its planned Mixed-Use Development. In order to accommodate the use proposed by the applicant, it is necessary to have the appropriate land use designation, zoning, and the remaining portion of the property annexed into the City before the applicant can apply for their project.

In reviewing the current Land Use Plan and Zoning for the subject property and other properties in the area, the main concern from staff's perspective is does this area make sense for a higher density and mix of commercial uses than what the current zone allows.

Given the size and category of Friendship Lane as a Major Arterial, that connects two entry corridor areas, that the MU-2 zone intent meets most of the requirements for this area, adequate utilities are available, and that the PUD gives the City some protection from future changes, staff recommends approval of the requested future land use changes and the requested zoning changes with the following conditions. The Rear Setback be 25' and the middle access point, in front of the leasing office, not be permitted.

Jim Jarreau asked Joshua Needham what the price point was for the residential units. Joshua responded they are targeting an income group of 50K – 75K which would put the monthly cost at \$1150 - \$1350 for apartments and \$2,000 - \$2,300 for the Single-Family Units.

Jill Tabor made the comment that the developers price points seemed a little high for the area.

Tim Dooley stated he has real concerns regarding a few of the uses that would be allowed with the application as proposed. He would like to disallow the following uses: Cocktail Lounge, Food Sales, Laundry Services, Liquor Sales, Mobile Food, Outdoor Entertainment, Custom Manufacturing, Kennels and Drive in Fast Food. He asked for clarification on the definition of Convenience Services, which was provided by Jason Lutz. He stated that this use, Convenience Services could be allowed as a CUP. He was also vocal about the need for Outdoor Amplified music to be banned in this area.

Daryl Whitworth commented on the 3 story buildings on the corner of South Eagle and Friendship. He said he did not think the 3 stories were overly intrusive especially considering the proximity to 290 East and businesses like Walmart and the La Quinta.

Motion to recommend Approval of Application Z-2101-A per Staff recommendation excluding the following uses: Cocktail Lounge, Outdoor Amplified Music, Food Sales, Laundry Services, Liquor Sales, Mobil Food, Outdoor Entertainment, Drive-In Fast Food, Custom Manufacturing, Kennels. With Convenience Services allowed as a Conditional Use and MF – 1 & 2 located on Tract A should be 2 story not 3 story made by Jim Jarreau Seconded by Tim Dooley. All voted in favor and the motion carried.

Motion to recommend Approval of Application Z-2101B & C Per Staff recommendation made by Daryl Whitworth. Seconded by Jim Jarreau. All voted in favor and the motion carried.

ADJOURN

With nothing further to come before the Commission, Daryl Whitworth moved to adjourn. Seconded by Steve Thomas. All voted in favor and the meeting was adjourned at 7:13 p.m.

PASSED AND APPROVED this 7th day of April 2021.

SHELBY COLLIER, Development Coordinator

JANICE MENKING, Chairman

**FINAL PLAT
BACKGROUND INFORMATION
April 7, 2021**

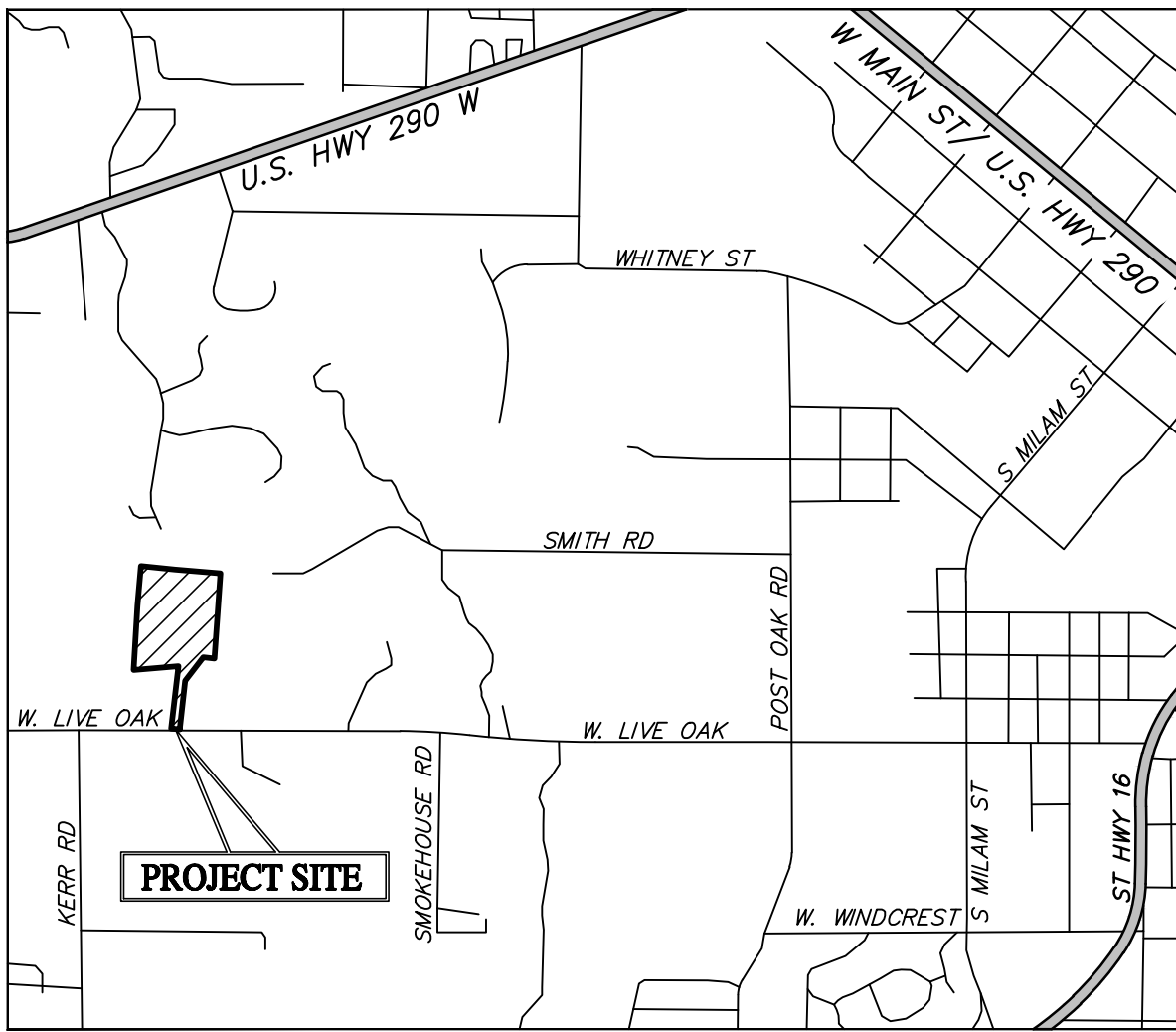
File Number:	P-2105
Subdivision Name:	Lost Draw Subdivision
Location:	West Live Oak Street, East of Kerr Road
Zoning:	Property is in the ETJ and is not zoned.
Tract Size:	13.20 acres
Number/Size of Lots:	6 single family lots.
Roadways:	The project will be served by the creation of Lost Draw Road, an ETJ roadway extending out to Live Oak Street.
Right-of-way:	Right of way is being dedicated for Lost Draw Road, a public ETJ street.
Utilities:	NA
Easements:	Each lot will include the standard ETJ well and septic setbacks. In addition, there is currently an overhead utility line crossing the property.
Easements Abandoned:	NA
Stormwater Detention:	In accordance with the City's Stormwater Control Ordinance, the proposed residential lots will be required to provide onsite detention or contain no more impervious ground cover than 20% of the gross lot surface area upon development, exclusive of any area within the 100-yr floodplain.
Drainage:	In accordance with the City's Flood Hazard Reduction Ordinance, base flood elevation data will be generated for the FEMA A-zone along with dedication of a floodplain easement. A floodplain development permit application will also be required for any development within a regulatory floodplain.
Park Dedication:	Park Dedication is not required.
Construction Plans:	Final Construction Plans will need to be approved by the City of Fredericksburg Engineering Department.
Screening Plan:	NA

Sidewalks:	Sidewalks are not required along this portion of West Live Oak Street.
Project Status:	The applicant has not submitted construction plans for the street and is seeking approval of the final plat to record the plat with the County. The City's subdivision ordinance does allow for recordation of a plat, provided that a financial surety is presented to and accepted by the City Council, to ensure that all improvements are constructed to serve the subdivision.
P&Z Action:	Final approval
Staff Recommendation:	Approval of the final plat with the following conditions.
Conditions:	1. Acceptance of a financial surety by City Council. 2. Approval of the Construction Plans prior to the start of construction. 3. Label Lost Draw Road as "Public Rights-of-Way". 4. Remove all references and depictions of structures, fences, street pavement sections and other information not needed for recording of the plat. 5. A parkland dedication fee of \$500.00 (per lot) must be paid prior to recordation of the plat. 4. Add "AC" to Lot one 6. Provide a flood study for the development to establish the base flood elevation and extent of the 100-year floodplain. Provide an easement for the floodplain based on the results of the flood study in accordance with Section 6.07 of the City's subdivision ordinance. Dedicate floodplain easement & add appropriate notes to the plat.

PLANS FOR THE CONSTRUCTION OF

LOST DRAW SUBDIVISION

W LIVE OAK ST TX
FREDERICKSBURG, TX 78624



LOCATION MAP

NOT TO SCALE

SHEET INDEX		
SHEET		DESCRIPTION
1		COVER SHEET
2		FINAL PLAT
3	C1	EROSION CONTROL PLAN
4	C3	PAVING PLAN & PROFILE
5	C4	DRAINAGE AREA MAP
6	C5	DETAILS & SPECIFICATIONS

REVISIONS

NO.	SHEET	DESCRIPTION	APPROVED BY	DATE

PLAN SUBMITTALS

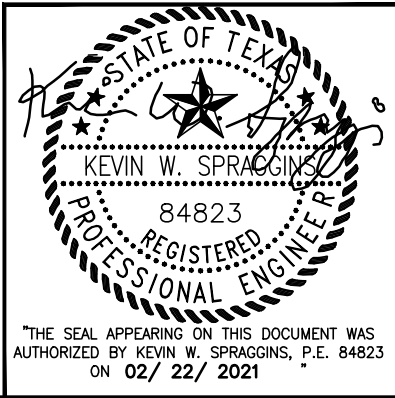
NO.	DATE	COMMENTS

OWNER/ DEVELOPER:

LOST DRAW SUBDIVISION

CONTACT: ANDREW SIDES
W LIVE OAK ST TX
FREDERICKSBURG, TX 78624
(830) 992-3251

PREPARED BY:

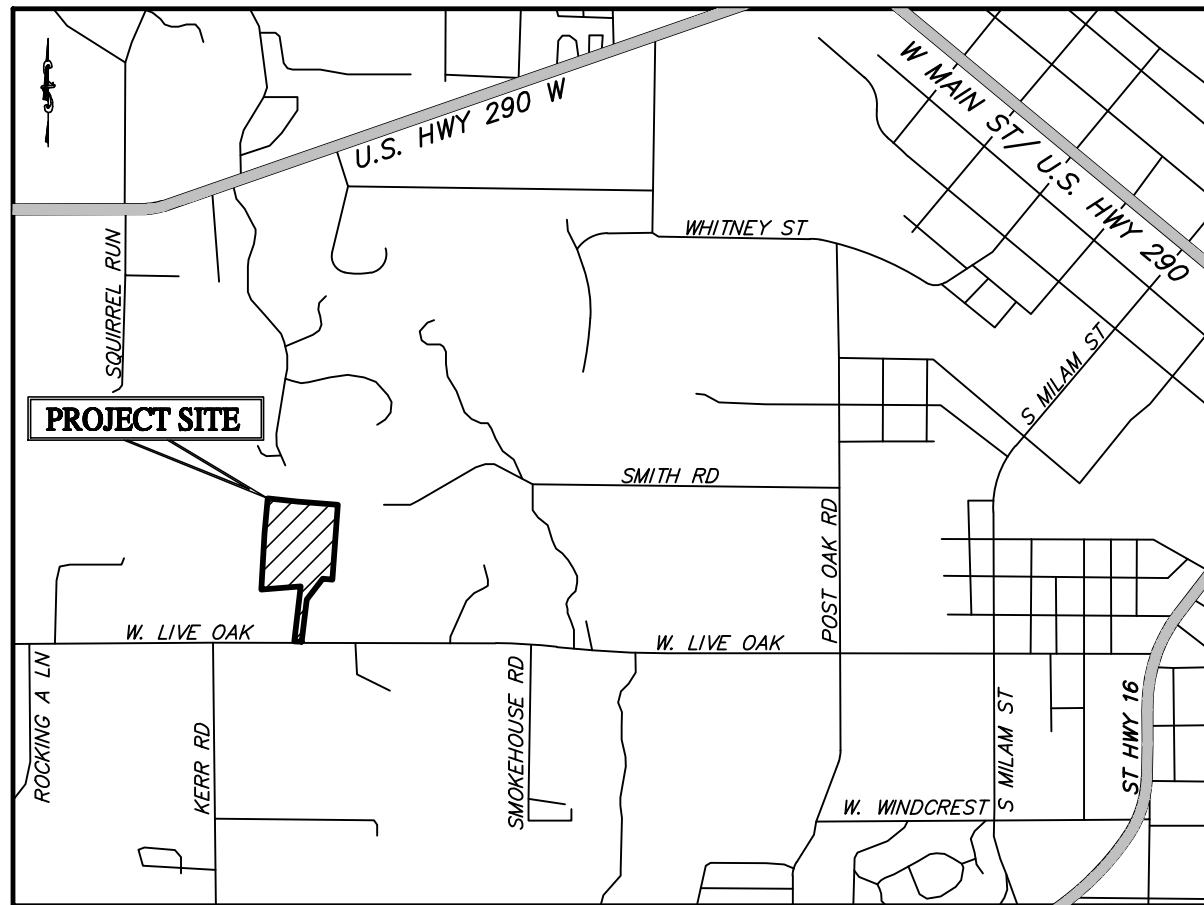
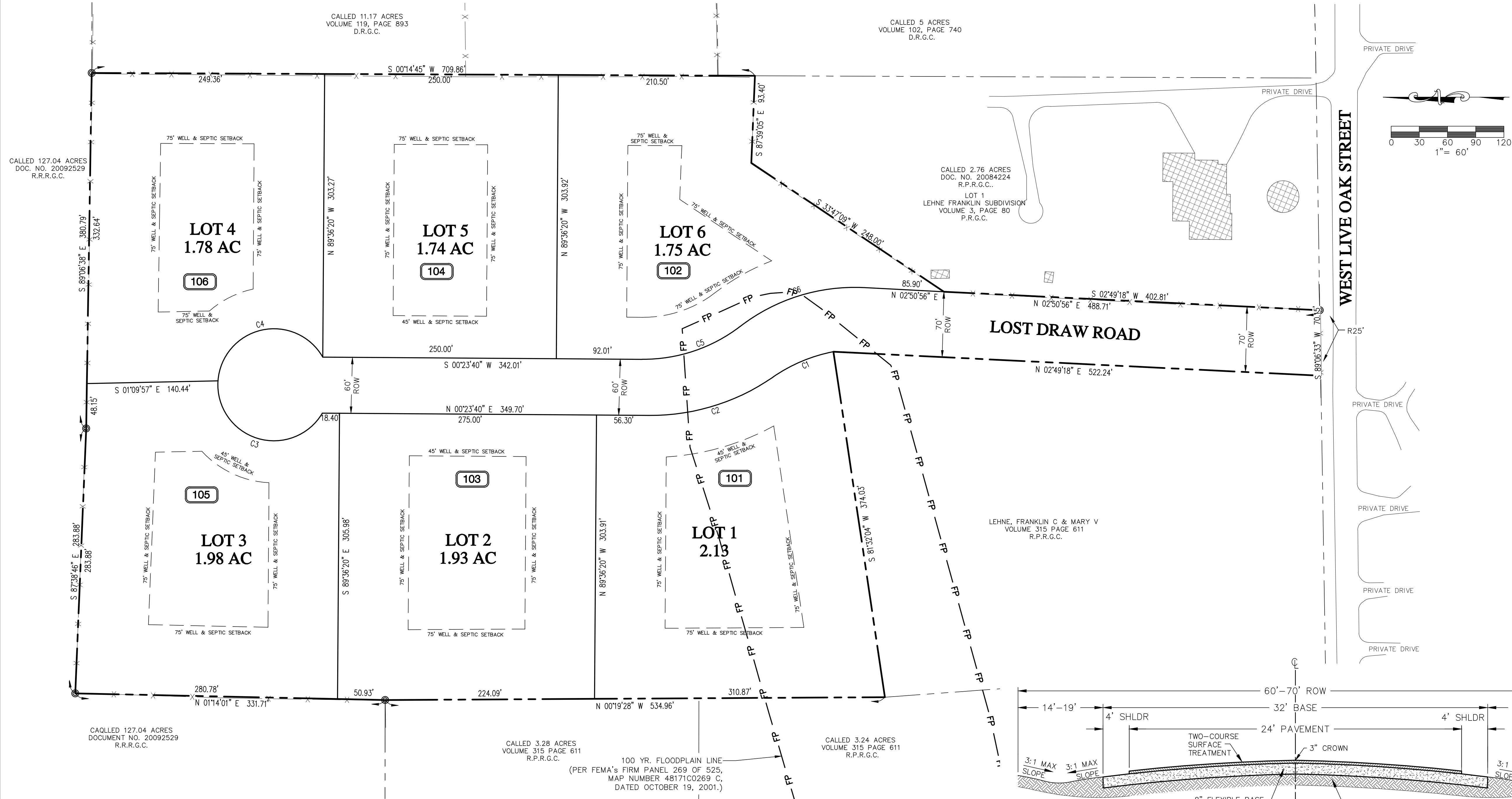




VEI CONSULTING ENGINEERS
507D EAST HIGHWAY STREET,
FREDERICKSBURG, TEXAS 78624
(830) 997-4744 Fax : (830) 997-6967
Texas Registration # F-165

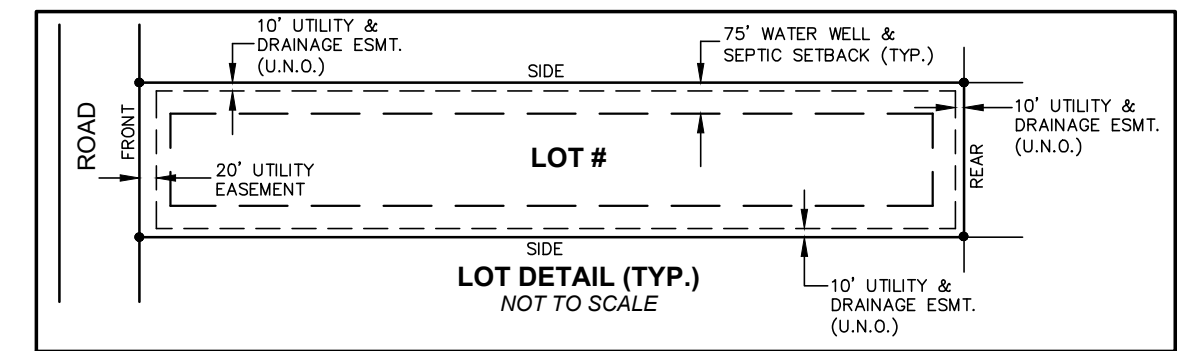
DATE
02/22/21

FILE NO.
20056



LOCATION MAP

NOT TO SCALE

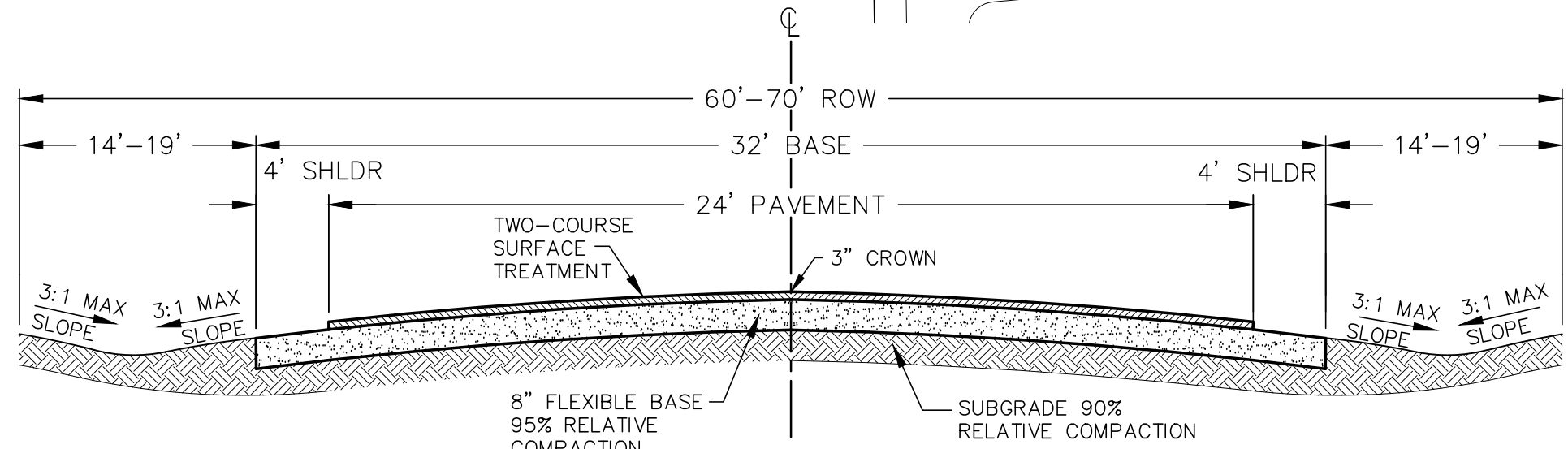


NOTE: 20' UTILITY EASEMENTS AND 10' UTILITY & DRAINAGE EASEMENTS NOT SHOWN ON PLAN FOR CLARITY.

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	170.18'	70.76'	70.25'	N 22°48'33" W	23°49'26"
C2	230.00'	140.99'	138.79'	S 17°10'00" E	35°07'20"
C3	60.00'	160.90'	116.84'	S 17°13'13" W	153°39'05"
C4	60.00'	153.25'	114.86'	N 12°48'47" W	146°20'32"
C5	170.00'	112.93'	110.86'	S 18°38'08" E	38°03'37"
C6	200.00'	141.31'	138.39'	N 17°25'30" W	40°28'54"

LEGEND

- PROPERTY BOUNDARY
- ADJACENT PROPERTY BOUNDARY
- LOT / ROW LINE
- PROPOSED EASEMENT
- OHU
- OVERHEAD UTILITIES
- 100 YR. FLOODPLAIN LINE (PER FEMA)
- 1/2" IRON ROD SET w/ "MDS" CAP
- 1/2" IRON ROD FOUND w/ "SEARCHERS" CAP
- 1/2" IRON ROD FOUND w/ "BONNI 4447" CAP
- CORNER POST FOUND
- D.R.G.C.
- DEED RECORDS OF GILLESPIE COUNTY
- R.P.R.G.C.
- REAL PROPERTY RECORDS OF GILLESPIE COUNTY
- P.R.G.C.
- PLAT RECORDS OF GILLESPIE COUNTY
- EXISTING TREES TO REMAIN



SECTION A-A (PROPOSED) CITY OF FREDERICKSBURG TYP. PAVEMENT SECTION (E.T.J.)

N.T.S.

CERTIFICATE OF COMPLETION, ACCEPTANCE, AND AUTHORIZATION TO FILE (Without Planning and Zoning Commission Meeting)

Approved

Chairman, Planning and Zoning Commission _____ Date _____
City of Fredericksburg, Texas

The undersigned, the City Secretary and the City of Fredericksburg, Texas, hereby certifies that this plat is acceptable for filing with Gillespie County and the Planning and Zoning Commission authorized the Chairman of the said Commission to note the acceptance of behalf of the City thereof by signing his/her name as hereinabove subscribed.

Witness by hand this is the _____ day of _____

City Secretary's Signature: _____

NOTES:

- THIS PROPERTY IS PARTIALLY LOCATED IN A REGULATORY FLOODPLAIN ACCORDING TO FLOOD INSURANCE RATE MAP COMMUNITY PANEL 269 OF 525, MAP #48171C0269 C, DATED OCTOBER 19, 2001.
- PROPERTY OWNERS ARE ADVISED THAT THEY ARE RESPONSIBLE FOR MAINTENANCE OF DEDICATED EASEMENTS ON THEIR PROPERTY AND MAY NOT UTILIZE THESE EASEMENTS FOR ANY PURPOSE DETRIMENTAL TO THEIR INTENDED USE (I.E., NO STRUCTURES, SEPTIC TANK FIELDS, ETC.). GRANTEES OF SAID DEDICATED EASEMENTS RESERVE THE RIGHT OF ACCESS TO SUCH EASEMENTS.
- THE PROPERTY IS LOCATED WITHIN THE ETJ BOUNDARY OF THE CITY OF FREDERICKSBURG OUTSIDE THE CITY LIMITS.
- BEARINGS SHOW HEREON ARE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, CENTRAL ONE 4203, NAD83 (2016 ADJUSTMENT)
- THE PROPOSED RESIDENTIAL LOTS WILL PROVIDE ONSITE DETENTION OR CONTAIN NO MORE IMPERVIOUS GROUND COVER THAN 20% OF THE GROSS LOT SURFACE AREA UPON DEVELOPMENT AS REQUIRED IN SECTION 5-455. G2 OF THE CITY OF FREDERICKSBURG'S CODE OF ORDINANCES

LIENHOLDER'S RATIFICATION OF PLAT DEDICATION

STATE OF TEXAS §
COUNTY OF GILLESPIE §

Whereas, _____, acting by and through the undersigned, its duly authorized agent, is the lienholder of the property described hereon, does hereby ratify all dedications and provisions of this plat as shown.

Lienholder Signature: _____
Lienholder Printed Name: _____
Date Signed: _____

STATE OF TEXAS §
COUNTY OF GILLESPIE §

BEFORE ME, the undersigned authority, on this day personally appeared the above-named person, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he/she is authorized to execute the foregoing instrument for the purposes and considerations therein expressed, and in the capacity therein stated.

Given under my hand and seal of office this _____ day
of _____

Notary Public

My Commission Expires: _____

CERTIFICATE OF RECORDATION

FILED FOR RECORD AT _____ O'CLOCK _____M., THIS THE _____ DAY
OF _____, 20____, A.D. IN VOLUME _____ AT
PAGE _____ OF THE PLAT RECORDS OF GILLESPIE COUNTY, TEXAS.

COUNTY CLERK'S OR DEPUTIES SIGNATURE: _____

OWNER'S ACKNOWLEDGEMENT AND DEDICATION

STATE OF TEXAS §
COUNTY OF GILLESPIE §

I (we), the undersigned, owner(s) of the land shown on this plat within the area described by metes and bounds as defined in Vol./Pg., or Document Number _____ recorded in the Official Public Records of Gillespie County, Texas, hereby dedicate to the public use forever by free simple title, free and clear of all liens and encumbrances, all streets, thoroughfares, alleys, parks, and trails, and to the public use forever easements for sidewalks, storm drainage facilities, floodways, water mains, wastewater mains and other utilities, and any other property necessary to serve the plat and to implement the requirement of the platting ordinances, rules, and regulations thereon shown for the purpose and consideration therein expressed.

Owner Signature: _____
Owner Printed Name: _____
Date Signed: _____

STATE OF TEXAS §
COUNTY OF GILLESPIE §

BEFORE ME, the undersigned authority, on this day personally appeared the above-named person, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he/she is authorized to execute the foregoing instrument for the purposes and considerations therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the _____
day of _____

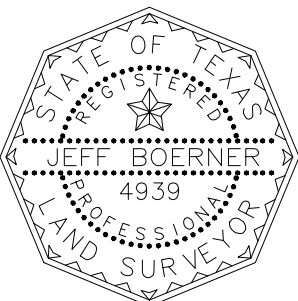
Notary Public

My Commission Expires: _____

CERTIFICATE OF SURVEYOR

STATE OF TEXAS §
COUNTY OF GILLESPIE §

I, the undersigned, a Registered Professional Surveyor in the State of Texas, hereby certify that this plat is true and correct and was prepared from an actual survey of the property made under my supervision on the ground.



Registered Professional Surveyor
Date Signed: _____

STATE OF TEXAS §
COUNTY OF GILLESPIE §

BEFORE ME, the undersigned authority, on this day personally appeared the above, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein stated.

Given under my hand and seal of office this _____ day of _____

Notary Public

My Commission Expires: _____

A FINAL PLAT FOR

LOST DRAW SUBDIVISION

13.20 acres

13.200 ACRES OUT OF OUTLOT 196 AND OUTLOT 197 AS SHOWN ON
THE MAP OF FREDERICKSBURG AND ENVIRONS BY THE GERMAN
EMIGRATION COMPANY IN GILLESPIE COUNTY, TEXAS.

FBG LAND HOLDINGS LLC

CONTACT: ANDREW SIDES
113 E PARK
FREDERICKSBURG, TX 78624

OWNER

(830) 992-3251

VEI CONSULTING ENGINEERS MDS LAND SURVEYING

ENGINEERING CONTACT: KEVIN W. SPRAGGINS
507-D E. HIGHWAY ST.
FREDERICKSBURG, TX 78624

ENGINEER SURVEYOR

(830) 997-4744
Texas Registration # F-165
(830) 816-1818
Texas Registration # 10019600

FILE NO: 20056

DATE: 02/22/2021

SHEET: MP (1 OF 1)

12.0 STORM WATER POLLUTION PREVENTION

12.1 The drawing represents the site map portion of the Storm Water Pollution Prevention Plan (SWPPP) only and is intended to be used by others in meeting the SWPPP as defined in the publication EPA 832-R-92-005. Neither the drawing nor these specifications signify certification. As outlined in the above referenced publication, ultimate responsibility, including but not limited to permits, notice of intents, maintenance, reports, record keeping, etc. lies with others.

12.2 The drawings and these specifications are part of a Storm Water Pollution Prevention Plan. The Contractor shall be responsible for the implementation and maintenance of said plan. The Contractor shall submit a Notice Of Intent (NOI) at least 48 hours prior to the commencement of construction activities. The Contractor shall be responsible for the required certification by the NOI's Storm Water Pollution Prevention Plan. The Contractor shall complete the Storm Water Pollution Prevention Plan, inspection and maintenance report forms every seven days and within 24 hours of a rainfall event of 0.5 inches or more. Copies shall be given to the Engineer and Owner, and be kept on site at all times.

12.3 TEMPORARY SEDIMENT CONTROL FENCE (SILT FENCE)

12.3.1 Steel posts which support the temporary sediment control fence (silt fence) shall be installed on a slight angle toward the anticipated runoff source. Post must be embedded a minimum of one (1) foot.

12.3.2 The toe of the temporary sediment control fence (silt fence) shall be trenched in with a spade or mechanical trencher, so that the downslope face of the trench is flat and perpendicular to the line of the flow. Where fence can not be trenched in (e.g. pavement) weight fabric flap with washed gravel on uphill side to prevent flow under fence.

12.3.3 The trench must be a minimum of six (6) inches deep and six (6) inches wide to allow for the temporary sediment control fence (silt fence) fabric to be laid in the ground and backfilled with compacted material.

12.3.4 Temporary sediment control fence (silt fence) should be securely fastened to each steel support post or to woven wire, which is in turn attached to the steel fence post.

12.3.5 Inspection shall be made weekly or after each rainfall event and repair or replacement shall be made promptly as needed.

12.3.6 Temporary sediment control fence (silt fence) shall be removed when the site is completely stabilized so as not to block or impede storm flow or drainage.

12.3.7 Accumulated silt shall be removed when it reaches a depth of six (6) inches. The silt shall be disposed of in an approved site and in such a manner as to not contribute to additional siltation.

12.4 Rock berm (optional)

12.4.1 Use only open-graded rock, with most of the fines removed.

12.4.2 Stone shall be crushed and, unless otherwise specified, shall be at least 3 inches in diameter and less than 1 cubic foot in volume.

12.4.3 The rock berm shall be embedded into the soil a minimum of four (4) inches.

12.4.4 The rock berm shall be inspected after each rain, and the stone shall be replaced when the structure ceases to function as intended, due to silt accumulation among the rocks, without construction traffic damage, etc.

12.4.5 When silt reaches a depth equal to one-third the height of the berm or one (1) feet, whichever is less, the silt will be removed and disposed of in an approved site and in such a manner as to not create a siltation problem.

12.4.6 When the site is completely stabilized, the berm will be removed and disposed of in an approved manner.

12.5 STABILIZED CONSTRUCTION ENTRANCE

12.5.1 The stabilized construction entrance shall be 12 feet wide minimum by 50 feet long minimum by 8 inches minimum thickness.

12.5.2 The crushed stone shall be open graded rock 3 inches to 5 inches in diameter with most of the fines removed.

12.5.3 Geotextile (filter fabric), if required by soil conditions, shall meet the following properties:

12.5.3.1 Grab Tensile Strength by ASTM D1682 = 220 lbs.

12.5.3.2 Elongation Failure by ASTM D1682 = 60%

12.5.3.3 Mullen Burst Strength by ASTM D3768 = 430 lbs.

12.5.3.4 Puncture Strength by ASTM D751 (modified) = 125 lbs.

12.5.3.5 Equivalent Openings by US Std. Sieve (CW-02215) size 40-80.

12.5.4 Washing - when necessary, wheels shall be cleaned to remove sediment prior to entrance onto public roadway. When washing is required, it shall be done on an area stabilized with crushed stone which drains into an approved trap or sediment basin. All sediment shall be prevented from entering any storm drain, ditch, or watercourse using approved methods.

12.5.5 Maintenance - the entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public roadways. This may require periodic top dressing with additional stone as conditions demand, and repair and/or cleanout of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public roadway must be removed immediately.

12.5.6 Drainage - entrance must be properly graded or incorporate a drainage swale to prevent runoff from leaving the construction site.

12.6 HYDROMULCHING OR SODDING

12.6.1 Upon completion of earthmoving activity, all ditch and disturbed areas will be immediately seeded with bermuda grass or other appropriate seed. This activity will be done prior to paving or subgrade treatment.

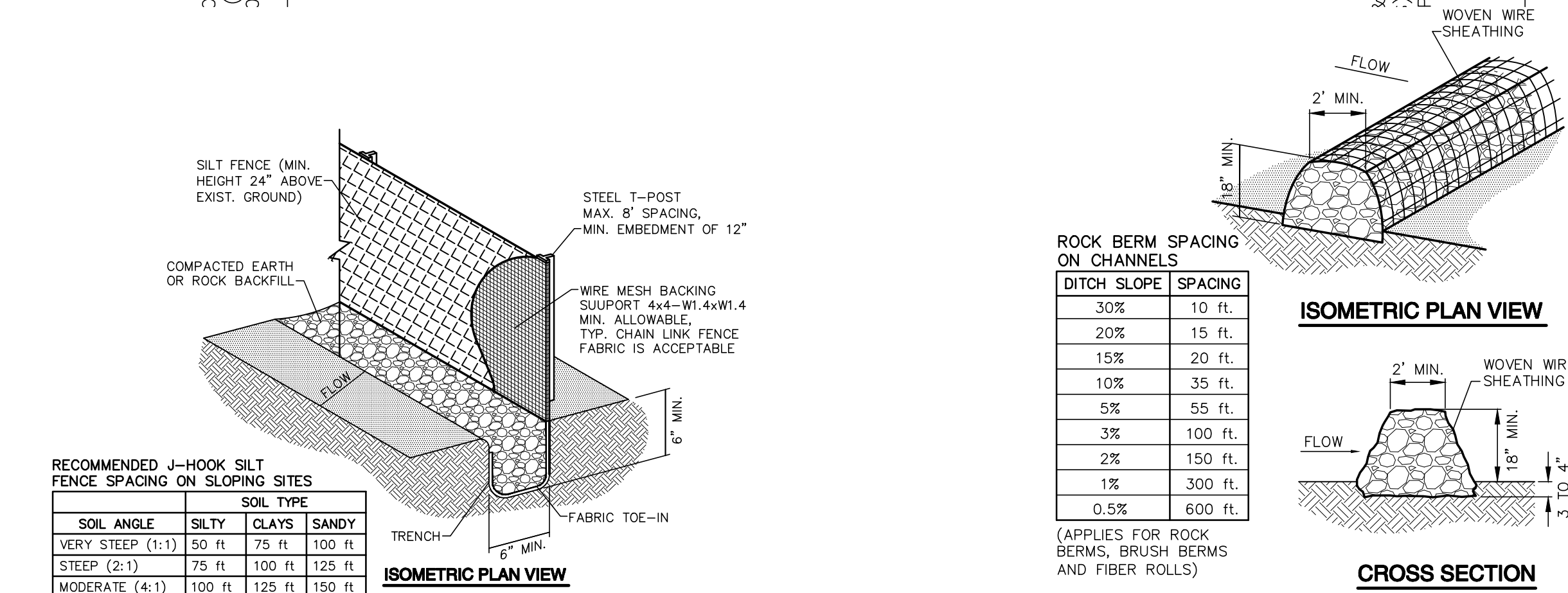
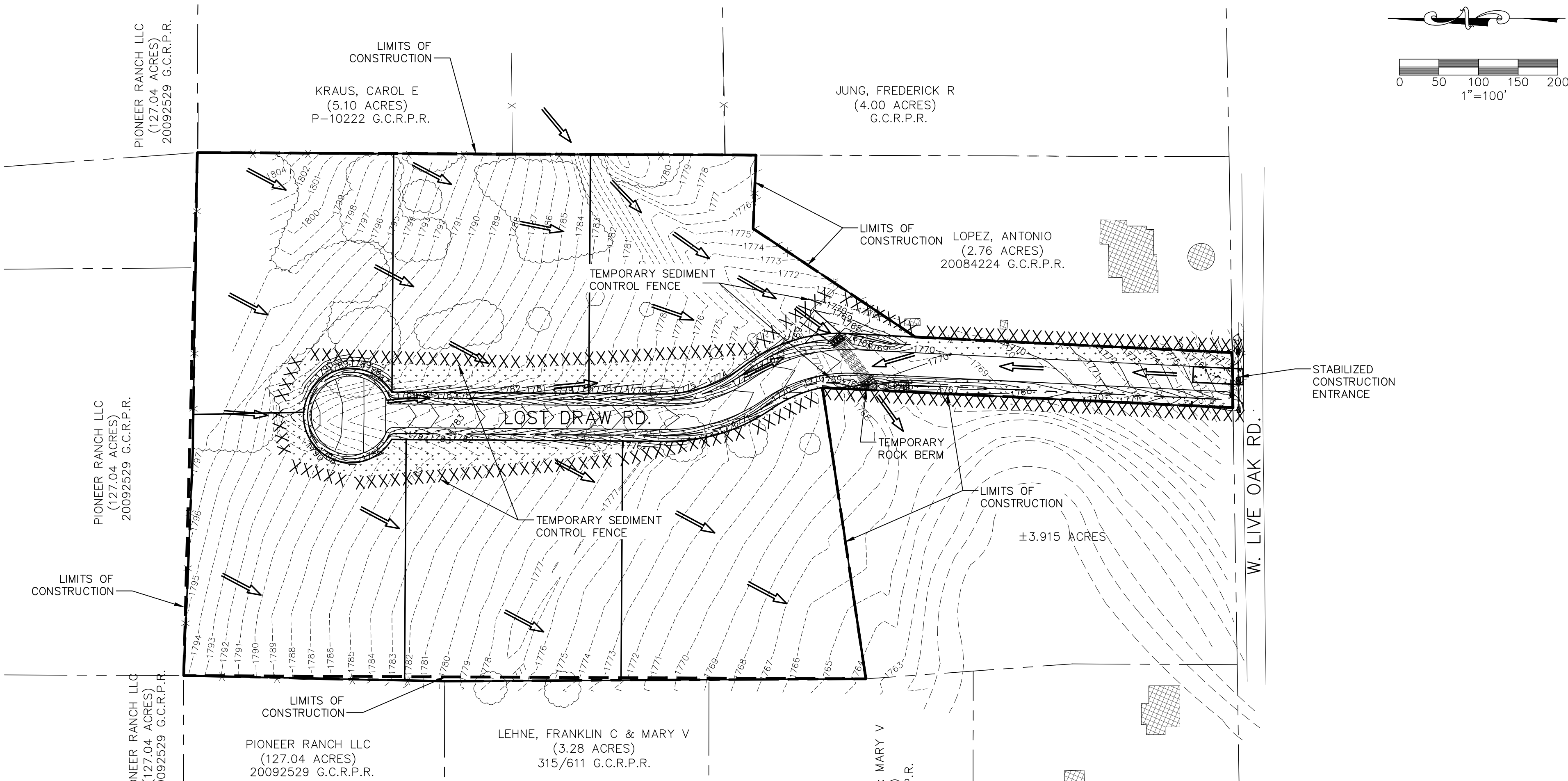
12.6.2 The contractor shall hydromulch or sod all exposed cuts and fills upon completion of grading and installation of all utilities. The seeding or erosion control shall be applied at the specified rate over areas disturbed by construction as follows:

12.6.2.1 From September 15 to March 1, seeding shall be with a combination of one (1) pound per thousand (1000) square feet of unhulled bermuda and three (3) pounds per thousand (1000) square feet of winter rye with a purity of 95% with 85% germination.

12.6.2.2 From March 1 to September 15, seeding shall be with hulled bermuda grass (cynodon dactylon) at a rate of one (1) pound per thousand (1000) square feet with a purity of 95% with 85% germination.

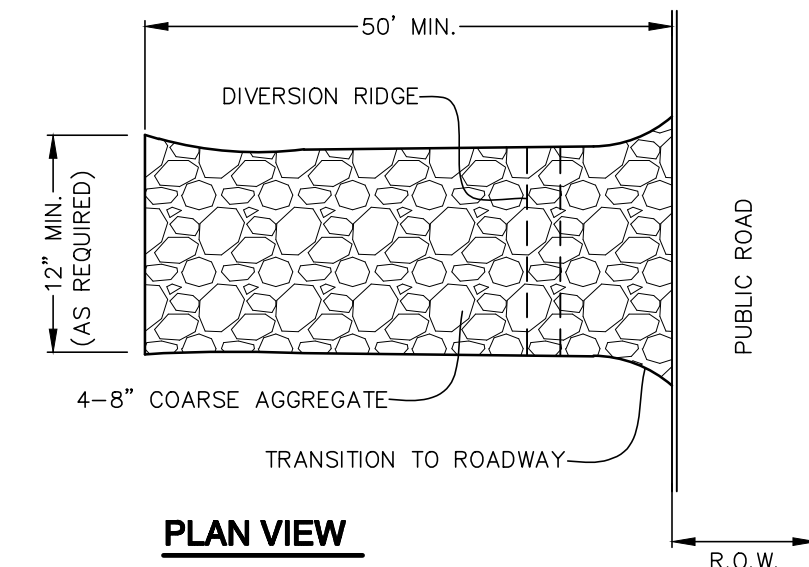
12.6.3 Fertilizer shall have an analysis of 15-10-5 and shall be applied at the rate of 600 pounds per acre. Multiple type to be conwed, applied at a rate of 2100 pounds per acre. Restoration shall be acceptable when the grass has reached a height of at least 1-1/2" (95%) coverage and no bare spots larger than 16 square feet.

12.6.4 The seeded or planted area is to be irrigated or sprinkled in a manner which will not erode the topsoil but will sufficiently soak the soil to a depth of six (6) inches. The irrigation shall occur at seven day intervals for the first two months. Rainfall occurrences of at least one (1) inch shall postpone the watering operation for one week.



ROCK BERM

NTS

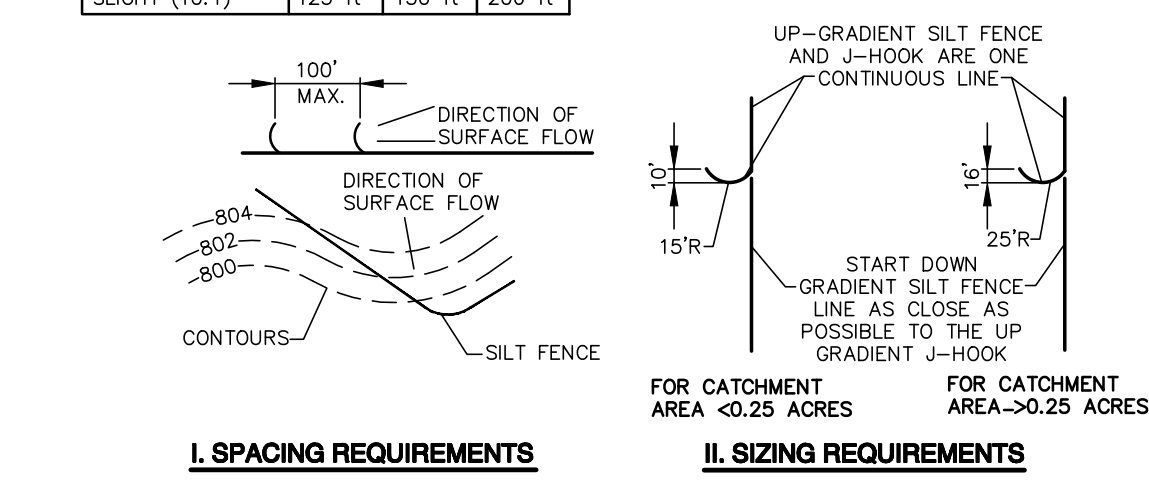


PLAN VIEW

CROSS SECTION

STABILIZED CONSTRUCTION ENTRANCE

NTS



I. SPACING REQUIREMENTS

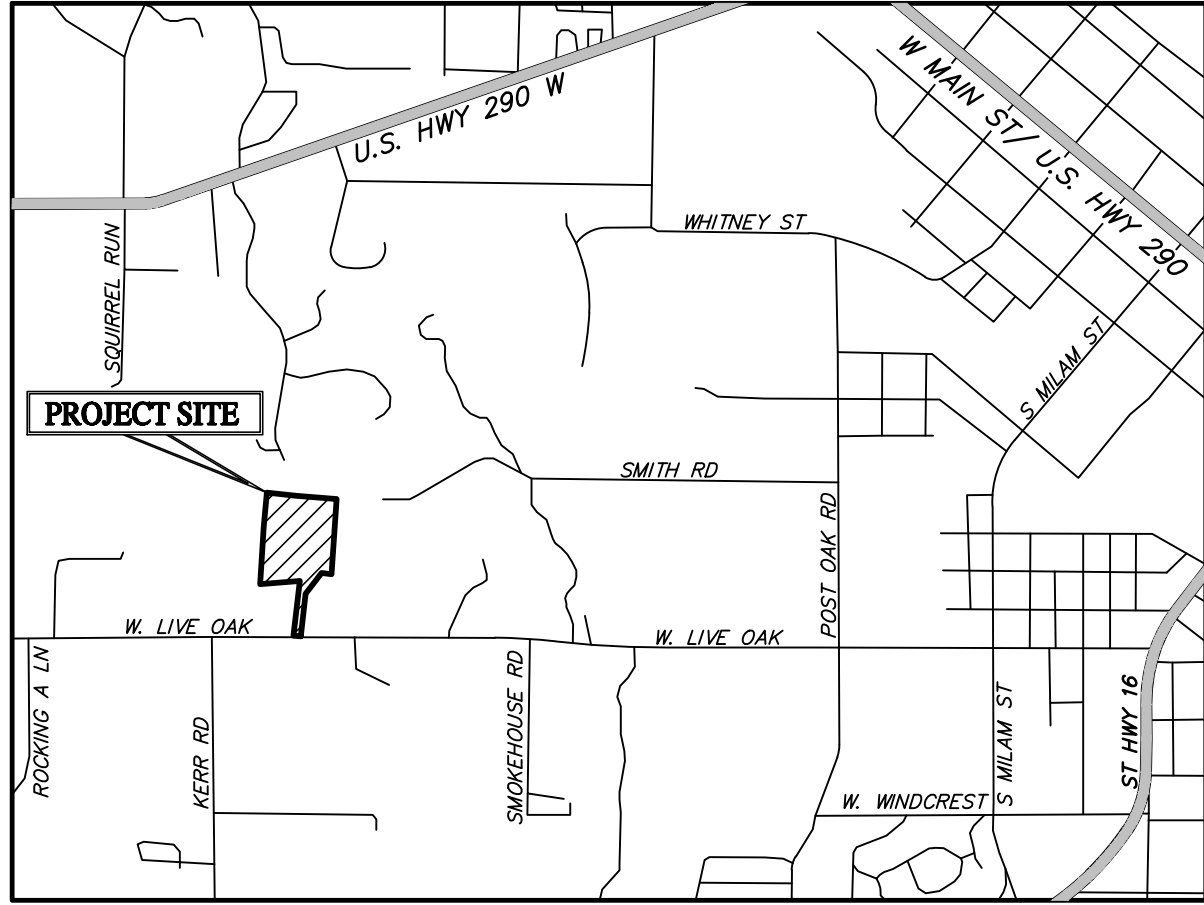
II. SIZING REQUIREMENTS

NOTES:

1. USE POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE WOVEN OR NON-WOVEN FABRIC (36 INCHES WIDE, WEIGHING 4 OZ/YD) AND 2"x4", 12 GAUGE MINIMUM WOVEN WIRE BACKING.
2. USE STEEL FENCE POSTS, AT LEAST 4 FEET LONG, EMBEDDED 1 FOOT (MIN.) DEEP AND SPACED NOT MORE THAN 8 FEET ON CENTER.
3. TOE IN THE SILT FENCE SO THAT THE DOWN-SLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW (6"x6" TRENCH). WHERE FENCE CANNOT BE TRENCHED IN (E.G. PAVEMENT OR ROCK OUTCROPS), WEIGHT FABRIC FLAP WITH 3 INCHES OF PEA GRAVEL ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
4. USE J-HOOKS AS NEEDED WHEN SILT FENCES CROSS CONTOURS LINES TO CREATE CATCHMENT AREAS AND SLOW FLOW VELOCITY. USE J-HOOKS AT DOWNHILL FENCE ENDS TO PREVENT RUNOFF FROM ESCAPING AROUND SIDES. REFER TO J-HOOK PLACEMENT DETAIL.
5. INSPECT SILT FENCES WEEKLY AND AFTER EACH RAIN EVENT (0.5 INCHES OR MORE) TO LOCATE AND REPAIR ANY DAMAGE, REPLACE ANY TORN FABRIC, AND REPAIR ANY SECTIONS CRUSHED OR COLLAPSED IN THE COURSE OF CONSTRUCTION ACTIVITY.
6. REMOVE SEDIMENT WHEN BUILD-UP REACHES 6 INCHES. DISPOSE OF SEDIMENT IN A MANNER THAT WILL NOT CAUSE ADDITIONAL SILTATION.
7. WHEN CONSTRUCTION IS COMPLETE, PROPERLY DISPOSE OF ANY SEDIMENT BUILD-UP AND RESTORE THE PRIOR LOCATION OF THE SILT FENCE. THE FENCE MATERIALS SHOULD BE DISPOSED OF IN AN APPROVED LANDFILL OR REUSED IF IN SERVICEABLE CONDITION.

TEMPORARY SEDIMENT CONTROL FENCE

NTS



LOCATION MAP

NOT TO SCALE

NOTES:

1. STORM WATER POLLUTION PREVENTION PLAN INSPECTIONS ARE TO BE PERFORMED BY OTHERS.
2. INSTALL ALL PROPOSED EROSION CONTROL MEASURES IN ACCORDANCE WITH TCEQ STANDARDS.
3. SUBMITTAL OF TCEQ NOTICE OF INTENT (NOI) AND NOTICE OF TERMINATION (NOT) BY OTHERS.

LEGEND

- XXXXXXX SILT FENCE
- PROPOSED LIMITS OF CONSTRUCTION
- STABILIZED CONSTRUCTION ENTRANCE
- PROPOSED GRASS SEEDING
- PROPOSED ROCK BERM
- DRAINAGE AREA FLOW DIRECTION

NOTES:

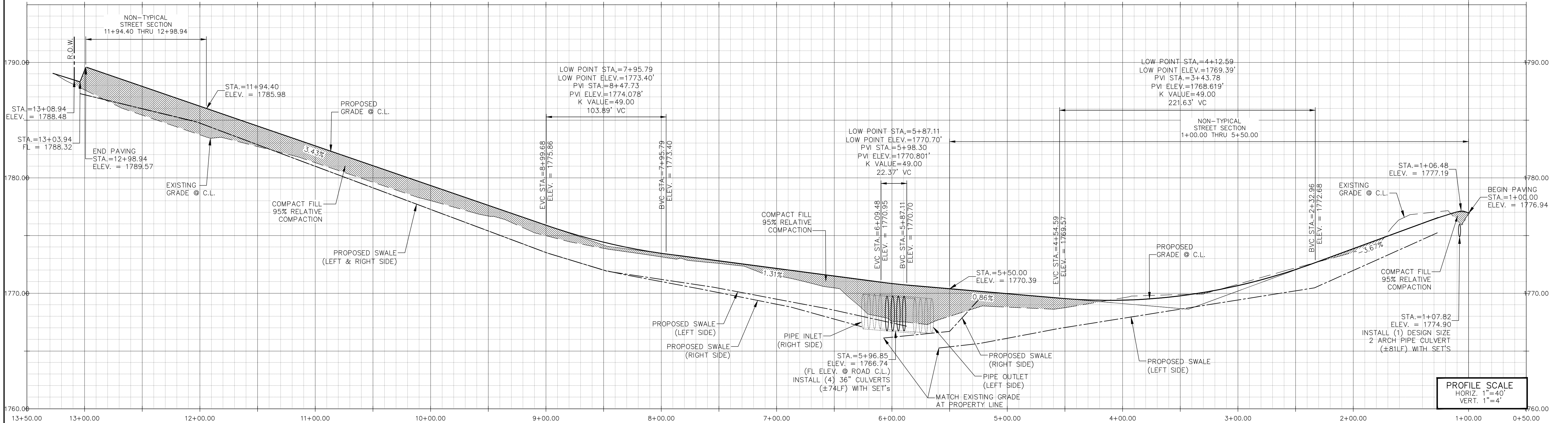
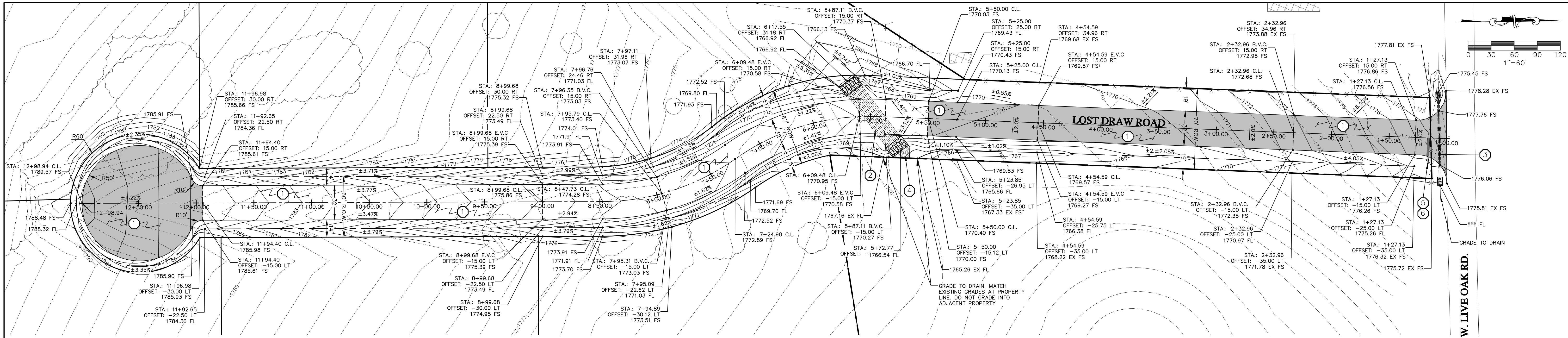
1. USE CLEAN, OPEN GRADED 3 TO 5 INCH DIAMETER ROCK (MAY USE ROCK NATIVE TO SITE).
2. USE A WOVEN WIRE SHEATHING (MAX. OPENING OF 1 INCH AND A MIN. WIRE DIAMETER OF 20 GA. GALVANIZED), AND SECURE WITH SHOT RINGS.
3. THE HEIGHT SHOULD BE AT LEAST 18" AND THE TOP WIDTH OF AT LEAST 2 FEET.
4. INSTALL BERM ALONG A CONSTANT CONTOUR AND PERPENDICULAR TO THE FLOW PATH TO PREVENT RUNOFF FROM ESCAPING AROUND THE SIDES.
5. INSPECT WEEKLY AND AFTER EACH RAIN EVENT (0.5 INCH OR MORE) TO LOCATE AND REPAIR ANY DAMAGE.
6. REMOVE SEDIMENT WHEN BUILD-UP REACHES 6 INCHES. DISPOSE OF SEDIMENT IN A MANNER THAT WILL NOT CAUSE ADDITIONAL SILTATION.
7. WHEN CONSTRUCTION IS COMPLETE, PROPERLY DISPOSE OF ANY SEDIMENT BUILD-UP. THE ROCK BERM SHOULD BE REMOVED WHEN THE SITE HAS BEEN RE-VEGETATED, BUT MAY BE LEFT IN-PLACE AS A CHECK DAM IN A CONSTRUCTED DITCH OR SWALE.

NOTES:

1. USE A 4 TO 8 INCH WASHED STONE AND PLACE WITH A MINIMUM THICKNESS OF 8 INCHES.
2. USE GEOTEXTILE FABRIC WITH AN APPROXIMATE WEIGHT OF 4 OZ/YD AS NEEDED TO IMPROVE STABILITY.
3. THE MINIMUM WIDTH OF THE ENTRANCE/EXIT SHOULD BE 12 FEET OF THE FULL WIDTH OF EXIT ROADWAY, WHICHEVER IS GREATER.
4. THE CONSTRUCTION ENTRANCE SHOULD BE AT LEAST 50 FEET LONG.
5. DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE STONE PAD TO A SEDIMENT TRAP OR BASIN IF NECESSARY.
6. INSPECT ENTRANCE/EXIT AFTER EACH RAIN EVENT (0.5 INCH OR MORE). REPAIR ANY DAMAGE BY ADDING STONE AND/OR CLEANING ANY MEASURES USED TO TRAP SEDIMENT.
7. PROMPTLY REMOVE ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY. DISPOSE OF SEDIMENT IN A MANNER THAT WILL NOT CAUSE ADDITIONAL SILTATION.
8. WHEN CONSTRUCTION IS COMPLETE, PROPERLY DISPOSE OF ANY SEDIMENT BUILDUP AND RESTORE THE PRIOR LOCATION OF THE ENTRANCE/EXIT.

1.	02/22/21	
NO.	DATE	REVISION
 VEI CONSULTING ENGINEERS Texas Registration # F-165 507-D E. HIGHWAY ST. FREDERICKSBURG, TX 78624 (830) 997-4744 FAX: (830) 997-6967		
EROSION CONTROL PLAN		
LOST DRAW SUBDIVISION		
CITY OF FREDERICKSBURG, TEXAS		
DESIGN	DRAWN	SCALE
VEI	JMT	1"=60'
DATE	FILE NO.	PAGE
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NOTES:

- THE DRAWING AND SERVICES BY VEI DO NOT INCLUDE "AS-BUILT" INSPECTIONS NOR SERVICES PAST DELIVERY OF THIS DRAWING.
- ALL DIMENSIONS ARE MEASURED BACK TO BACK OF CURB.
- PLANS DO NOT INCLUDE DEMOLITION OF EXISTING IMPROVEMENTS.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE BASED ON AVAILABLE RECORDS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY OCCUR DURING CONSTRUCTION.
- ALL SLOPES ARE MAXIMUM 3:1.
- CONTRACTOR TO MATCH EXISTING GRADES AT PROPERTY BOUNDARY, UNLESS OTHERWISE NOTED.
- ANY DESIGN PHILOSOPHIES DISCREPANCIES, CHANGES OR CONFLICTS WITH OTHER DOCUMENTS OR SPECIFICATIONS OR WITH ANY ITEMS ON THESE CONSTRUCTION DOCUMENTS ARE TO BE REPORTED TO OUR ENGINEERING FIRM AND THE ENGINEER OF RECORD IN WRITING IMMEDIATELY UPON DISCOVERY (24 HRS). IF ITEMS ARE NOT REPORTED IMMEDIATELY, CHANGES OR CONFLICT CORRECTIONS MADE BY OTHERS ARE DEEMED APPROVED BY THE OWNER AND THEIR CONSTRUCTION MANAGER AND ARE NOT THE RESPONSIBILITY OF THE ENGINEER OF RECORD OR THE ENGINEERING FIRM OF WHICH HE IS EMPLOYED. BOTH, THE ENGINEER OF RECORD AND THE ENGINEERING FIRM ARE INDEMNIFIED FROM ANY ISSUES, PROBLEMS, OR GRIEVANCES FROM THESE NON DISCLOSED ITEMS.
- DRAINAGE SWALES ARE TO BE PROVIDED AT EVERY INTERIOR PROPERTY LINE UNLESS OTHERWISE NOTED.
- ALL DRAINAGE EASEMENTS ARE TO BE MAINTAINED BY PROPERTY OWNERS AND ACCESS TO BE GIVEN TO DEVELOPER OR AUTHORIZED PERSONS FOR ANY ADDITIONAL CONSTRUCTION, MAINTENANCE, OR REPAIR OF ANY STRUCTURE WITHIN ANY DRAINAGE EASEMENT.

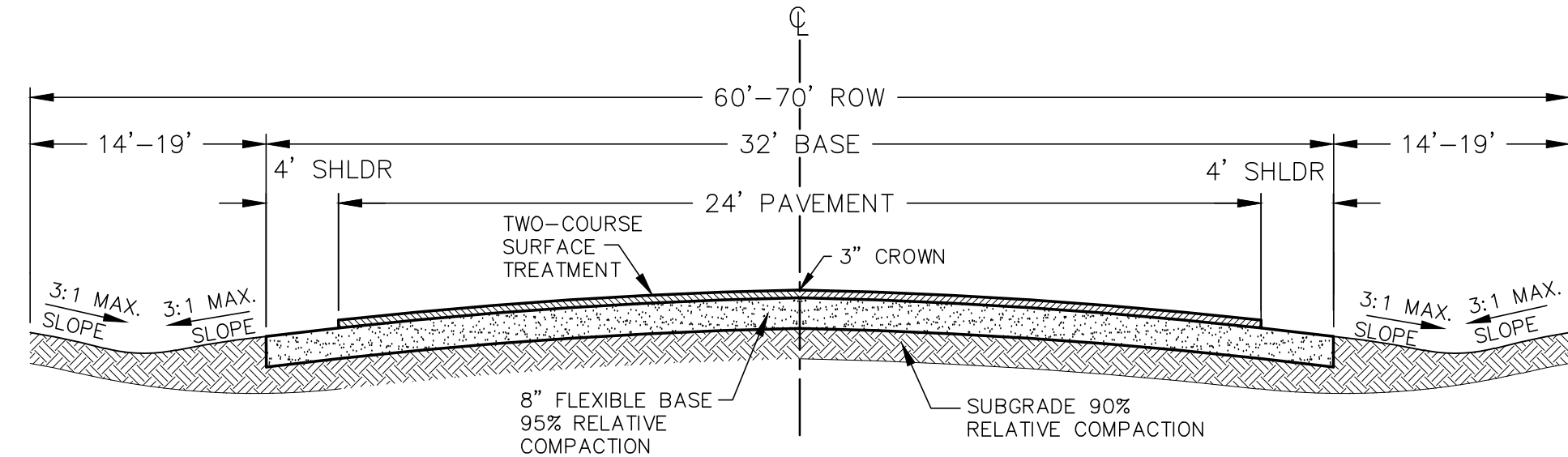
CONSTRUCTION LEGEND

- INSTALL TWO-COURSE SURFACE TREATMENT (SEE ROADWAY SECTION DETAIL THIS SHEET)
- INSTALL (4) 36" CMP CULVERTS (±74 LF EA) @ 0.50% SLOPE, WITH SAFETY-END TREATMENTS PER DETAIL (SEE SHEET C4)
- INSTALL ±81 LF OF DESIGN SIZE 2 ARCH PIPE @ 1.39% SLOPE, WITH SAFETY-END TREATMENTS PER DETAIL (SEE SHEET C4)
- INSTALL ROCK RIPRAP. PROPOSED RIPRAP TO CONSIST OF 6"-12" BOULDERS CEMENTED IN-PLACE
- INSTALL STOP SIGN AND STREET NAME SIGNS PER CURRENT EDITION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TMUTCD)
- INSTALL STOP LINE PAVEMENT MARKING PER CURRENT EDITION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TMUTCD) - SEE STREET INTERSECTION STRIPING AND SIGNAGE DETAIL (THIS SHEET)

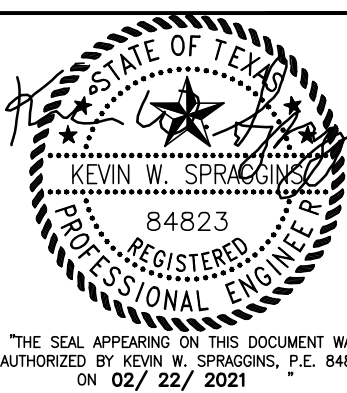
LEGEND

	NON-TYPICAL PAVEMENT SECTION (SEE PLAN VIEW FOR DESIGN PARAMETERS)	EX	EXISTING
	PROPERTY BOUNDARY	G	GUTTER
	ADJACENT PROPERTY BOUNDARY	TC	TOP OF CURB
	PROPOSED R.O.W. / LOT LINE	FL	FLOWLINE
	PROPOSED ROAD CENTERLINE	FS	FINISHED SURFACE
	EXISTING CONTOURS	BVC	BEGIN VERTICAL CURVE
	PROPOSED CONTOURS	EVC	END VERTICAL CURVE
	PROPOSED FLOWLINE	GB	GRADE BREAK
	PROPOSED GRADE BREAK	TP	TOP OF HEADWALL/ S.E.T.
	PROPOSED CULVERT	XX.XX TC	PROPOSED SPOT ELEVATIONS
		XX.XX G	PROPOSED GRADE AND FLOW DIRECTION
		±2.00%	

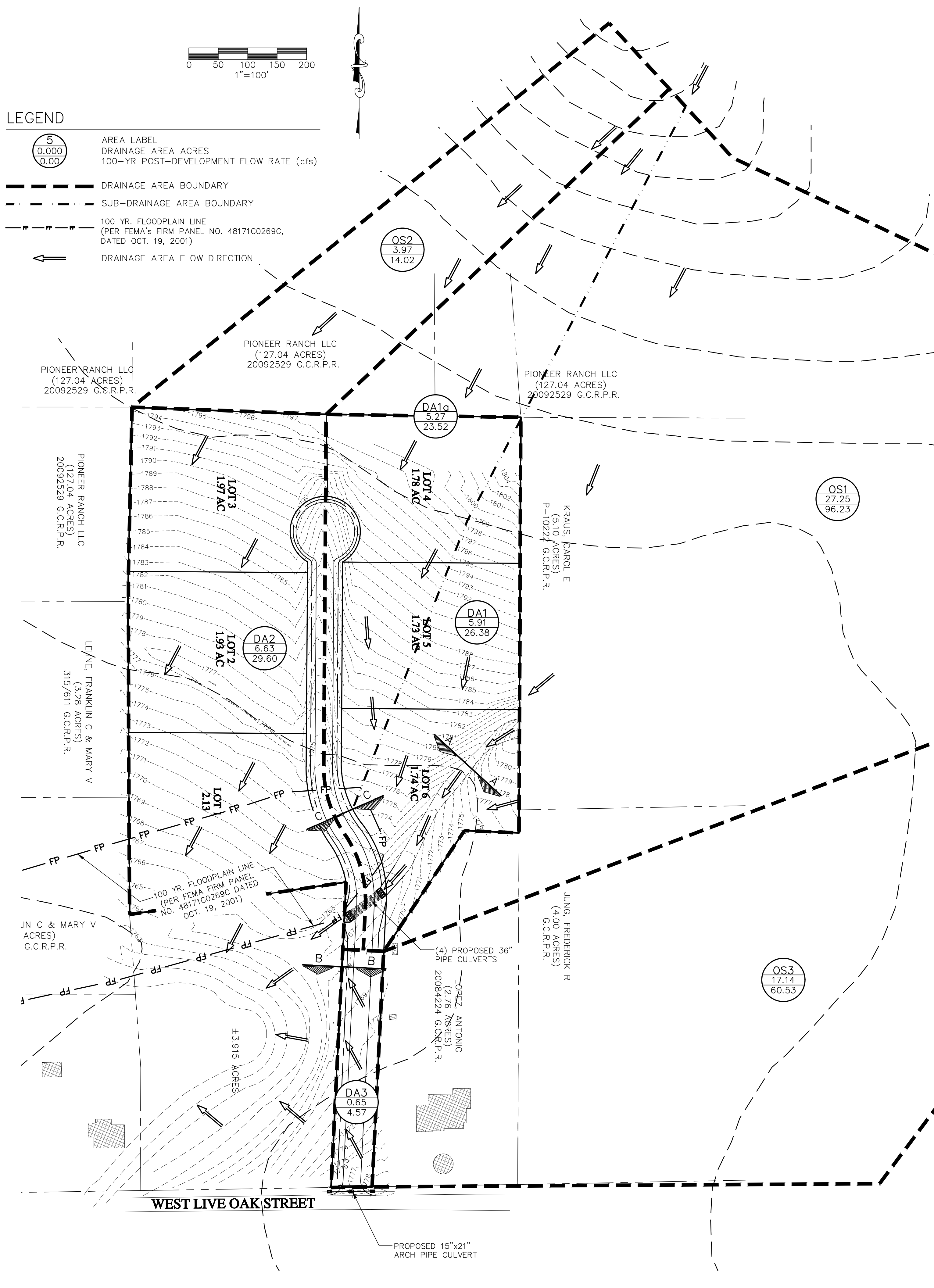
LOST DRAW RD
1+00.00 THRU 12+98.94



SECTION A-A (PROPOSED)
CITY OF FREDERICKSBURG TYP. PAVEMENT SECTION (E.T.J.)



1.	02/22/21	REVISION
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PAVING PLAN & PROFILE		
LOST DRAW SUBDIVISION		
CITY OF FREDERICKSBURG, TEXAS		
DESIGN	DRAWN	SCALE
VEI	JMT	H: 1"=60' V: 1"=6'
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LEGEND

5
0.000
0.00

AREA LABEL
DRAINAGE AREA ACRES
100-YR POST-DEVELOPMENT FLOW RATE (cfs)

--- DRAINAGE AREA BOUNDARY
- - - SUB-DRAINAGE AREA BOUNDARY

--- 100 YR. FLOODPLAIN LINE
(PER FEMA'S FIRM PANEL NO. 48171C0269C,
DATED OCT. 19, 2001)

--- DRAINAGE AREA FLOW DIRECTION

CULVERT DATA
Shape
Number of Barrels
Size
Length
Min. Roadway Elevation
FL Inlet Elevation
FL Outlet Elevation
Manning's n
Flowrate
Slope
Velocity
Headwater

Round
4
36" (ID)
74.0 ft
1770.37 ft
1766.54 ft
1766.91 ft
0.0130
122.61 cfs
0.050 ft/ft
6.93 fps
1769.51 ft

**PROPOSED 36"
PIPE CULVERT DATA**

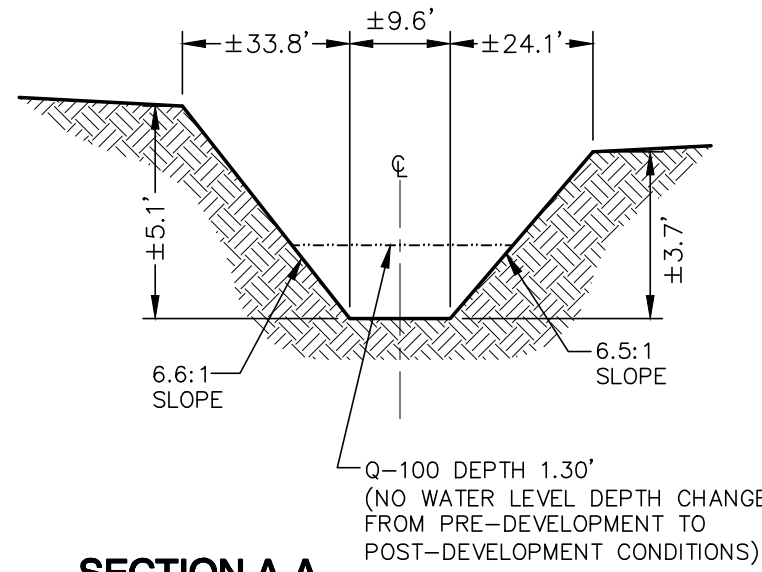
CULVERT DATA
Shape
Number of Barrels
Size
Length
Min. Roadway Elevation
FL Inlet Elevation
FL Outlet Elevation
Manning's n
Flowrate
Slope
Velocity
Headwater

ARCH
1
15"x21" (Design Size 2)
81.0 ft
1777.38 ft
1774.36 ft
1775.45 ft
0.0130
6.70 cfs
0.0139 ft/ft
4.26 fps
1777.04 ft

**PROPOSED 15"x21"
ARCH PIPE CULVERT DATA**

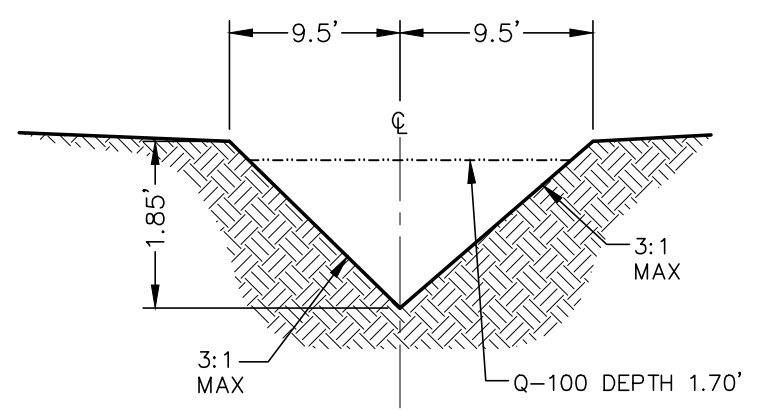
NOTES

1. THE PROPOSED RESIDENTIAL LOTS WILL PROVIDE ONSITE DETENTION OR CONTAIN NO MORE IMPERVIOUS GROUND COVER THAN 20% OF THE GROSS LOT SURFACE AREA UPON DEVELOPMENT AS REQUIRED IN SECTION 5-455. G2 OF THE CITY OF FREDERICKSBURG'S CODE OF ORDINANCES



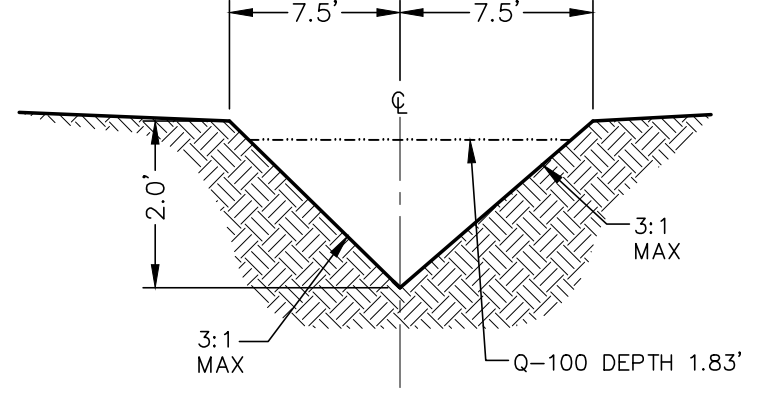
**SECTION A-A
EXISTING DRAINAGE CHANNEL** (CONTRIBUTIONS FROM DRAINAGE AREAS DA1 AND OS1)

NTS



SECTION B-B (CONTRIBUTIONS FROM DRAINAGE AREAS DA3 AND OS3)

NTS



SECTION C-C (CONTRIBUTION FROM SUB-DRAINAGE AREA DA1a)

NTS

PRE-DRAINAGE DATA

DRAINAGE AREA	C	AREA (acres)	Tc (min.)	I 2 (in/hr.)	Q2 cfs	I 5 (in/hr.)	Q5 cfs	I 10 (in/hr.)	Q10 cfs	I 25 (in/hr.)	Q25 cfs	I 50 (in/hr.)	Q50 cfs	I 100 (in/hr.)	Q100 cfs
OS1	0.38	27.25	15.0	4.08	42.30	5.42	56.08	6.39	66.15	7.42	76.88	8.54	88.41	9.29	96.23
OS2	0.38	3.97	15.0	4.08	6.16	5.42	8.17	6.39	9.64	7.42	11.20	8.54	12.88	9.29	14.02
OS3	0.38	17.14	15.0	4.08	26.60	5.42	35.27	6.39	41.61	7.42	48.36	8.54	55.61	9.29	60.53
DA1	0.38	5.91	10.0	4.93	11.07	6.53	14.66	7.70	17.30	8.95	20.09	10.29	23.10	11.16	25.06
DA2	0.35	6.63	10.0	4.93	11.44	6.53	15.15	7.70	17.87	8.95	20.76	10.29	23.87	11.16	25.90
DA3	0.35	0.65	10.0	4.93	1.12	6.53	1.49	7.70	1.75	8.95	2.04	10.29	2.34	11.16	2.54

POST-DRAINAGE DATA

DRAINAGE AREA	C	AREA (acres)	Tc (min.)	I 2 (in/hr.)	Q2 cfs	I 5 (in/hr.)	Q5 cfs	I 10 (in/hr.)	Q10 cfs	I 25 (in/hr.)	Q25 cfs	I 50 (in/hr.)	Q50 cfs	I 100 (in/hr.)	Q100 cfs
DA1	0.40*	5.91	10.0	4.93	11.66	6.53	15.43	7.70	18.21	8.95	21.15	10.29	24.32	11.16	26.38
DA1a	0.40	5.27	10.0	4.93	10.39	6.53	13.76	7.70	16.24	8.95	18.86	10.29	21.68	11.16	23.52
DA2	0.40*	6.63	10.0	4.93	13.08	6.53	17.31	7.70	20.43	8.95	23.73	10.29	27.28	11.16	29.60
DA3	0.63*	0.65	10.0	4.93	2.02	6.53	2.67	7.70	3.15	8.95	3.66	10.29	4.21	11.16	4.57

* WEIGHTED "C" FACTOR USED

DRAINAGE AREA "DA1"
UNDEVELOPED "C" FACTOR = 0.35
DEVELOPED "C" FACTOR = 1.00

FORMULA: $0.35 \times \text{Ac. pervious} = A$
 $1.00 \times \text{Ac. impervious} = B$
 $(A+B) / \text{Total Ac.} = \text{Weighted "C" Factor}$

TOTAL AREA = 5.91 Ac.
PERVIOUS AREA = 5.45 Ac.
IMPERVIOUS AREA = 0.46 Ac.

CALCULATIONS: $0.35 \times 5.45 \text{ Ac.} = 1.91$
 $1.00 \times 0.46 \text{ Ac.} = 0.46$
 $(1.91 + 0.46) / 5.91 \text{ Ac.} = 0.40 \text{ Weighted "C" Factor}$

DRAINAGE AREA "DA2"
UNDEVELOPED "C" FACTOR = 0.35
DEVELOPED "C" FACTOR = 1.00

FORMULA: $0.35 \times \text{Ac. pervious} = A$
 $1.00 \times \text{Ac. impervious} = B$
 $(A+B) / \text{Total Ac.} = \text{Weighted "C" Factor}$

TOTAL AREA = 6.63 Ac.
PERVIOUS AREA = 6.13 Ac.
IMPERVIOUS AREA = 0.50 Ac.

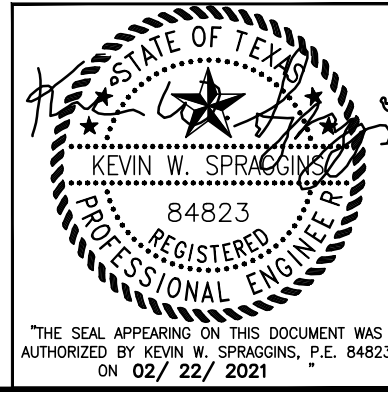
CALCULATIONS: $0.35 \times 6.13 \text{ Ac.} = 2.15$
 $1.00 \times 0.50 \text{ Ac.} = 0.50$
 $(2.15 + 0.50) / 6.63 \text{ Ac.} = 0.40 \text{ Weighted "C" Factor}$

DRAINAGE AREA "DA3"
UNDEVELOPED "C" FACTOR = 0.35
DEVELOPED "C" FACTOR = 1.00

FORMULA: $0.35 \times \text{Ac. pervious} = A$
 $1.00 \times \text{Ac. impervious} = B$
 $(A+B) / \text{Total Ac.} = \text{Weighted "C" Factor}$

TOTAL AREA = 0.65 Ac.
PERVIOUS AREA = 0.37 Ac.
IMPERVIOUS AREA = 0.28 Ac.

CALCULATIONS: $0.35 \times 0.37 \text{ Ac.} = 0.13$
 $1.00 \times 0.28 \text{ Ac.} = 0.28$
 $(0.13 + 0.28) / 0.65 \text{ Ac.} = 0.63 \text{ Weighted "C" Factor}$



1.	02/22/21	REVISION
NO.	DATE	REVISION
 VEI CONSULTING ENGINEERS Texas Registration # F-165 507-D E. HIGHWAY ST. FREDERICKSBURG, TX 78624 (830) 997-4744 FAX: (830) 997-6967		
DRAINAGE AREA MAP		
LOST DRAW SUBDIVISION		
CITY OF FREDERICKSBURG, TEXAS		
DESIGN	DRAWN	SCALE
VEI	JMT	1"=100'
DATE	FILE NO.	PAGE
02/22/21	20056	C3 5 OF 6



March 23, 2021

Kevin Spraggins
VEI Consulting and Engineers
507 E. Highway Street
Fredericksburg, TX 78624

RE: P-2105 Review Comments for The Final Plat The Lost Draw Subdivision Located on West Live Oak Street and East of Kerr Road.

Dear Mr. Spraggins,

Please review the following comments and address appropriately. Please provide a written response as to how the items are addressed in addition to the revised Plat. Plans will not be reviewed or considered without a response sheet.

1. Label Lost Draw Road as “Public Rights-of-Way”.
2. Remove all references and depictions of structures, fences, street pavement sections and other information not needed for recording of the plat.
3. A parkland dedication fee of \$500.00 (per lot) must be paid prior to recordation of the plat.
4. Add “AC” to Lot one
5. The proposed street must be constructed, inspected, and accepted by the City, prior to approval & recording of the plat.
 - A. If you would like to record the plat prior to construction, inspection, and acceptance of the street, a financial surety shall be submitted and accepted in accordance with the City’s Subdivision Ordinance, prior to recording the plat.
6. Please provide a flood study for the development to establish the base flood elevation and extent of the 100-year floodplain. Provide an easement for the floodplain based on the results of the flood study in accordance with Section 6.07 of the City’s subdivision ordinance.

The City of Fredericksburg

126 W. Main St. • Fredericksburg, Texas 78624-3708 • (830) 997-7521 • Fax (830) 997-1861

Please feel free to contact me with any comments or questions, and I will be happy to assist you. Please return the revised plans along with your written response as to how the comments have been addressed by Monday, March 29, 2021.

Sincerely,

Shelby Collier
Development Review Committee (DRC)



Project Application

City of Fredericksburg - Development Services Department
126 W. Main St., Fredericksburg, TX 78624 – (830)997-7521

A. Project Information (Please complete all items)

Project Name: Lost Draw Subdivision

Project Address: W. Live Oak Street, east of Kerr Road

Tax ID Number (s): 184940

Application Type (Check all items that apply)

PDF COPIES ARE REQUIRED FOR ALL SUBMISSIONS

- | | | |
|---|--|---|
| ☐ Conditional Use Permit | ☐ Minor Plat* | ☐ Plat Vacation |
| ☐ Site Plan | ☐ Replat* | ☐ Annexation* |
| ☐ Zoning Change | ☐ Amending Plat* | ☒ Final Plat* & Final Eng'g Plans |
| ☐ Land Use Plan Change | ☐ Preliminary Plat* | |

Revision of Approved Plan / Plat? ☐ Yes ☒ No Name:

Jurisdiction: ☐ City Limits ☒ ETJ Total Acres: 13.2 No. of Lots: 6 (six)

Original Survey & Abstract No:

Legal Description: ±13.2 acres out of Outlot 196 and Outlot 197, as shown on the Map of Fredericksburg and Environs by the German Emigration Company in Gillespie County, Texas. (GC OPR DOC 20205839)

Current Land Use Plan: Low Density Residential Proposed Land Use Plan: No change

Current Zoning: Rural - ETJ Proposed Zoning: No change

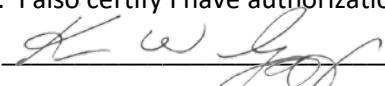
Location: North side of W. Live Oak Street, east of Kerr Road

Proposed Use(s): Single-family residential subdivision

Applicant's Signature

Applicant's Role: ☐ Owner ☐ Developer ☒ Other (note role): Civil Engineer

I hereby certify that the information supplied with this application is true and correct, and that the paper and electronic copies of the materials submitted are consistent with each other, to the best of my knowledge. I also certify I have authorization from the owner to act on his / her behalf.

Signature: 

Printed Name: Kevin W. Spraggins, PE Date: Feb. 24, 2021

Staff Use Only Application No.: _____ Date: _____

*Copy of current Title Search required with application.



Project Application

City of Fredericksburg - Development Services Department
126 W. Main St., Fredericksburg, TX 78624 – (830)997-7521

B. Contact Information (Please complete all items. Attach additional pages as necessary.)

I. Property Owner(s)

Firm Name (if applicable): Fbg Land Holdings LLC

Owner Name: Mr. Andrew Sides

Address: 113 E. Park Street, Fredericksburg, TX 78624

Phone: 830-992-3251

Fax:

Email: andrew@lostdrawcellars.com

II. Owner's Agent/Engineer/Surveyor (Main contact person responsible for application)

Role: ☒ Agent ☒ Engineer ☐ Surveyor ☐ Other (note role):

Firm Name (if applicable): VEI Consulting Engineers

Address: 507 E. Highway Street, Suite D, Fredericksburg, TX 78624

Primary Contact Name: Kevin W. Spraggins, PE

Phone: 830-997-4744

Fax: 830-997-6967

Email: kspraggins@vei-tx.com

Secondary Contact Name: Kate Smith

Phone: same

Fax: same

Email: ksmith@vei-tx.com

III. Applicant

Firm Name (if applicable): Same as agent/engineer

Applicant Name (s):

Address:

Phone:

Fax:

Email:

IV. Applicant's Agent/Engineer/Surveyor (Main contact person responsible for application)

Role: ☐ Agent ☒ Engineer ☐ Surveyor ☐ Other (note role):

Firm Name (if applicable): Same as agent/engineer

Address:

Primary Contact Name:

Phone: Fax: Email:



Project Application

City of Fredericksburg - Development Services Department
126 W. Main St., Fredericksburg, TX 78624 – (830)997-7521

C. Fee Schedule (Please attach appropriate fee to application.)

- ☐ Conditional Use Permit Application - \$400
- ☐ Site Plan Application Admin - \$300
- ☐ Site Plan Application P&Z - \$400
- ☐ Application for Zoning Change - \$400
- ☐ Application for Land Use Change - \$300
- ☐ Minor Plat - \$300
- ☐ Amending Plat - \$300
- ☐ Replat - \$300 plus \$20 per lot
- ☐ Preliminary Plat - \$400 plus \$20 per lot
- ☒ Final Plat - \$500 plus \$10 per lot

D. Recording Fee Schedule

For plats, a recording fee will be collected when mylars are presented. The check should be made payable to Gillespie County Clerk and the recording fees are \$121.00 for a single lot plat. Each additional lot will increase the recording fee by \$10.00.



PLANNING & ZONING COMMISSION MEMO

DATE: April 7, 2020

TO: Planning and Zoning Commission

FROM: Jason Lutz

SUBJECT: Consider allowing an Off-site or remote parking arrangement for a proposed Restaurant at 405 E. Live Oak St.

Summary: A Site Plan has been submitted to convert the property at 405 E. Live Oak St into a restaurant (new location of Woerner Café). The Site Plan has been reviewed and is pending consideration and approval of their off-site or remote parking proposal. As part of their plan, a total of 22 parking spaces are required. They are proposing that 7 parking spaces be located on site and the remaining 15 spaces and the dumpster pad be located on the adjoining vacant property to the west (see attached Site Plan & maps). The parking agreement is for a term of 5 years.

Recommendation: Given the limited amount of parking provided on site and the short lease term, staff has major concerns regarding the parking proposal. Since the agreement is for a period of 5 years, there exists the possibility that the parking area could go away through redevelopment of the property leaving the restaurant with only 7 spaces on site, all of which would not be accessible from the street. Staff recommends that a condition of approval be that this parking agreement would need to be for a term equal to the life of the building.

Should the parking agreement be approved, staff can recommend approval of the proposed site plan with the following conditions:

1. landscape plan be provided and approved prior to the commencement of construction.
2. Provide detention for the development in accordance with the City's stormwater control ordinance.
3. Should the site plan need to be modified to account for detention, staff will bring the site plan back to P&Z for review and approval.

The City of Fredericksburg

Background / Analysis: Section 7.850 of the Zoning Ordinance provides that the Planning and Zoning Commission may approve (by Site Plan Review) location of a portion of the parking required for a use on another site. Off-site parking shall be located within 300' of the use which it serves. In determining whether to approve off-site parking, the Planning and Zoning shall consider all relevant factors, including the location of the use and the proposed off-site parking, existing and potential parking demand created by other uses in the vicinity, the characteristics of the use, including employee and customer parking demand, hours of operation and projected convenience and frequency of use of the off-site parking, adequacy, convenience and safety of pedestrian access to off-site parking, and traffic patterns on adjacent streets, and proposed access to the off-site parking.

Attachments:

Parking Site Plan, General Site Plan, and Location Map.



Department Approval

The City of Fredericksburg

126 W. Main St. • Fredericksburg, Texas 78624-3708 • (830) 997-7521 • Fax (830) 997-1861

\\NAS\current projects file\Current Projects File\2020\2027 - Woerner Cafe\02 - Drawings\02 - Schematic design (SD)\2027 - Woerner Cafe - SD 08.rvt

OWNER INFORMATION:

ANGELA MANCINO
405 GRANITE AVENUE
FREDERICKSBURG, TEXAS 78624

LEGAL DESCRIPTION:

SOUTH SIDE BLK A LOT 1-PT & 2-PT

ZONING:

ZONED: M-1 LIGHT MANUFACTURING
PROPOSED USE: RESTAURANT

MIN. ALLOWABLE LOT AREA: 5,000 SQ FT
TOTAL LOT AREA: 10,149 SQ FT (0.233 ACRES)

SETBACKS:
FRONT YARD: 10 FT
STREET SIDE YARD: 10 FT
INTERIOR SIDE YARD: 10 FT
REAR SIDE YARD: 10 FT

MAX. ALLOWABLE BUILDING COVERAGE: 75% OF LOT AREA
TOTAL PROPOSED BUILDING COVERAGE: 41% (4,139 SF)

MAX ALLOWABLE IMPERVIOUS COVERAGE: 85% OF LOT AREA
PROPOSED IMPERVIOUS COVERAGE: 7,256 SQFT (72%)
BUILDINGS - EXISTING 4,139 SQFT
DRIVE/PARKING/SIDEWALKS 3,117 SQFT

LANDSCAPE: 2,893 SQFT (28%)

MAXIMUM ALLOWABLE BUILDING HEIGHT: 3 STORIES - 38' - 0"
MAXIMUM PROPOSED BUILDING HEIGHT: 1 STORY - 23' - 7"

REQUIRED PARKING SPACES:

MERCANTILE 1 SPACE PER 750 SQ. FT
735 SQ. FT = 1 SPACE

RESTAURANT 1,235 SQFT/15 SF/OCC = 82 OCC
TOTAL DINING AREA 82 OCC/4 SEATS PER SPACE = 21 SPACES

TOTAL SPACES REQUIRED 22 SPACES
TOTAL SPACES PROVIDED 22 SPACES
7 SPACES - ON SITE
15 SPACES - PART OF REMOTE PARKING AGREEMENT

ADA PARKING REQ. 1 SPACE
ADA PARKING PROVIDED 1 SPACE

INTERIOR LANDSCAPE REQUIREMENTS:
10 SQFT PER EACH INTERIOR PARKING SPACE 10 x 7 SPACES = 70 SQFT
1 SQFT OF LANDSCAPE/100 SQFT PAVED AREA (2,654/100)*1 = 27 SQFT

INTERIOR LANDSCAPING REQUIRED: = 97 SF
INTERIOR LANDSCAPING PROVIDED: = 2,654 SF

SITE PLAN NOTES

1. CONTRACTOR IS TO PROTECT ALL EXISTING TREES TO REMAIN PRIOR TO CONSTRUCTION.

SITE KEY NOTES

- CONCRETE CURB, REFER TO CIVIL FOR ADDITIONAL REQUIREMENTS
- EXISTING ENTRY DRIVE TO REMAIN
- WALL MOUNTED ACCESSIBLE VAN PARKING SIGN
- EXISTING CURB TO REMAIN
- LANDSCAPE TIMBER TO PREVENT PARKING IN ACCESSIBLE AISLE, SECURE WITH STEEL RODS
- LANDSCAPE AREA
- EXISTING TREE TO REMAIN
- DECOMPOSED GRANITE GRAVEL PARKING AREA COMPACTED SMOOTH, WITH LANDSCAPE TIMBERS SECURED WITH STEEL RODS INTO GRANITE GRAVEL AT EACH PARKING STALL. PROVIDE 6" STONE EDGING AT PERIMETER OF D.G. PARKING AREA
- EXISTING SIDEWALK TO REMAIN
- PROPOSED SCREENED TRASH AREA WITH GATE
- EXISTING CONCRETE SLAB AND COVERING TO REMAIN
- INFILL WITH NEW CONCRETE FLATWORK TO MATCH EXISTING. DOWEL INTO EXISTING ADJACENT CONCRETE FLATWORK
- NON PERMEABLE PAVER PATIO
- PROPOSED PAD-MOUNTED ELECTRICAL TRANSFORMER. FINAL SIZE TO BE DETERMINED
- PROPOSED 4" SANITARY SEWER LINE. TAP TO EXISTING LINE UNDER STREET. FINAL SIZE TO BE DETERMINED
- PROPOSED 1" WATER METER AND 1 1/2" WATER SERVICE LINE. TAP TO EXISTING LINE UNDER STREET. FINAL SIZE TO BE DETERMINED
- PROPOSED 500 GALLON GREASE INTERCEPTOR AND SAMPLE WELL. FINAL SIZE TO BE DETERMINED

© 2020 MUSTARD DESIGN

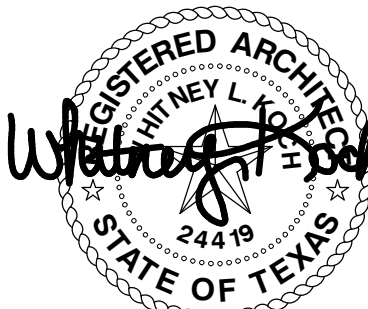
mustard
DESIGN

209 South Llano Street, Suite B
Fredericksburg, Texas 78624
830.997.7024

WOERNER CAFE
405 E LIVE OAK ST.
FREDERICKSBURG, TX 78624

REVISIONS
NO. DATE DESCRIPTION

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03.03.21

SITE PLAN

Drawn By: WK / SM

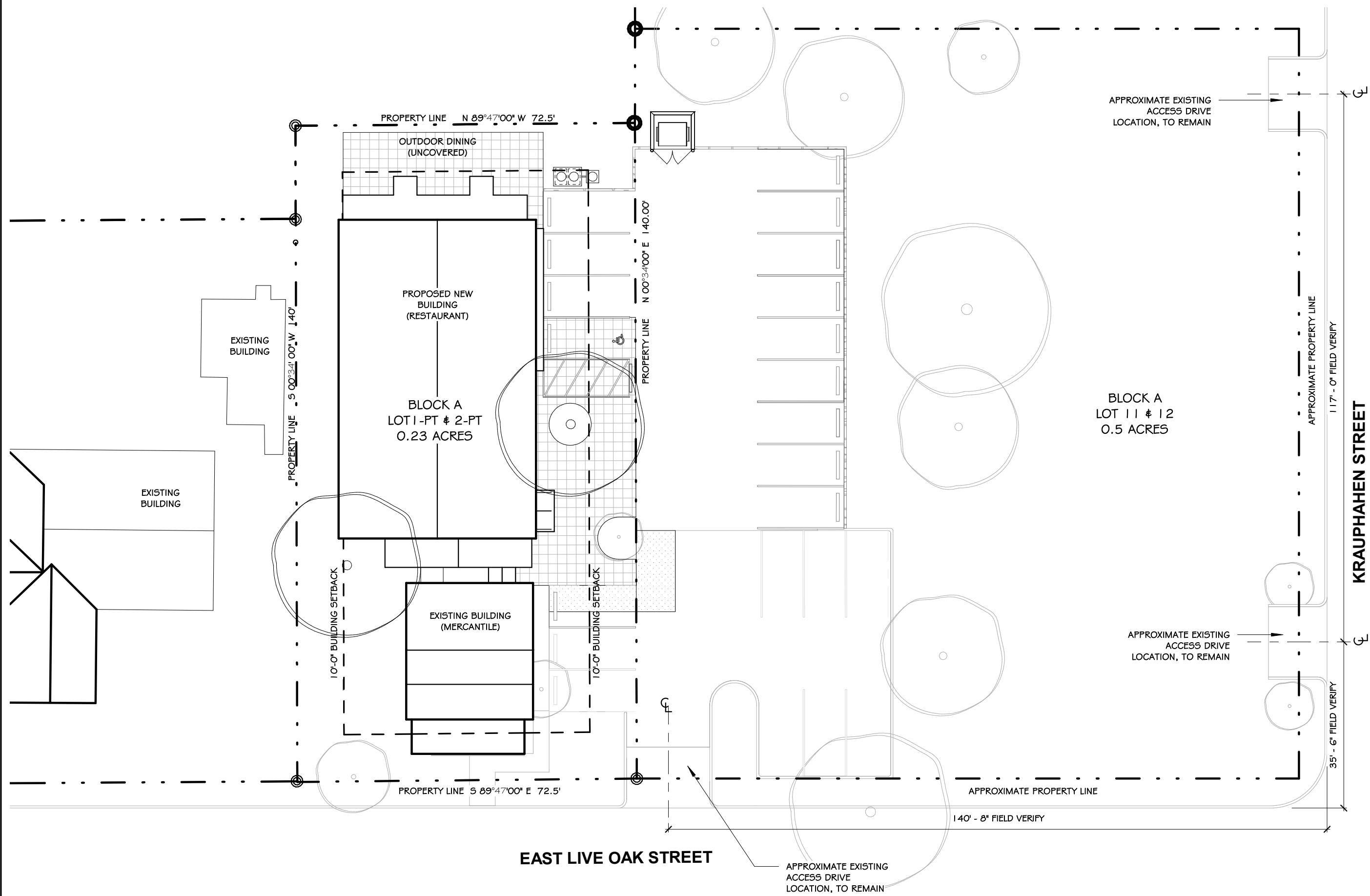
Checked By: WK

Approved By: WK

Project No. 2027

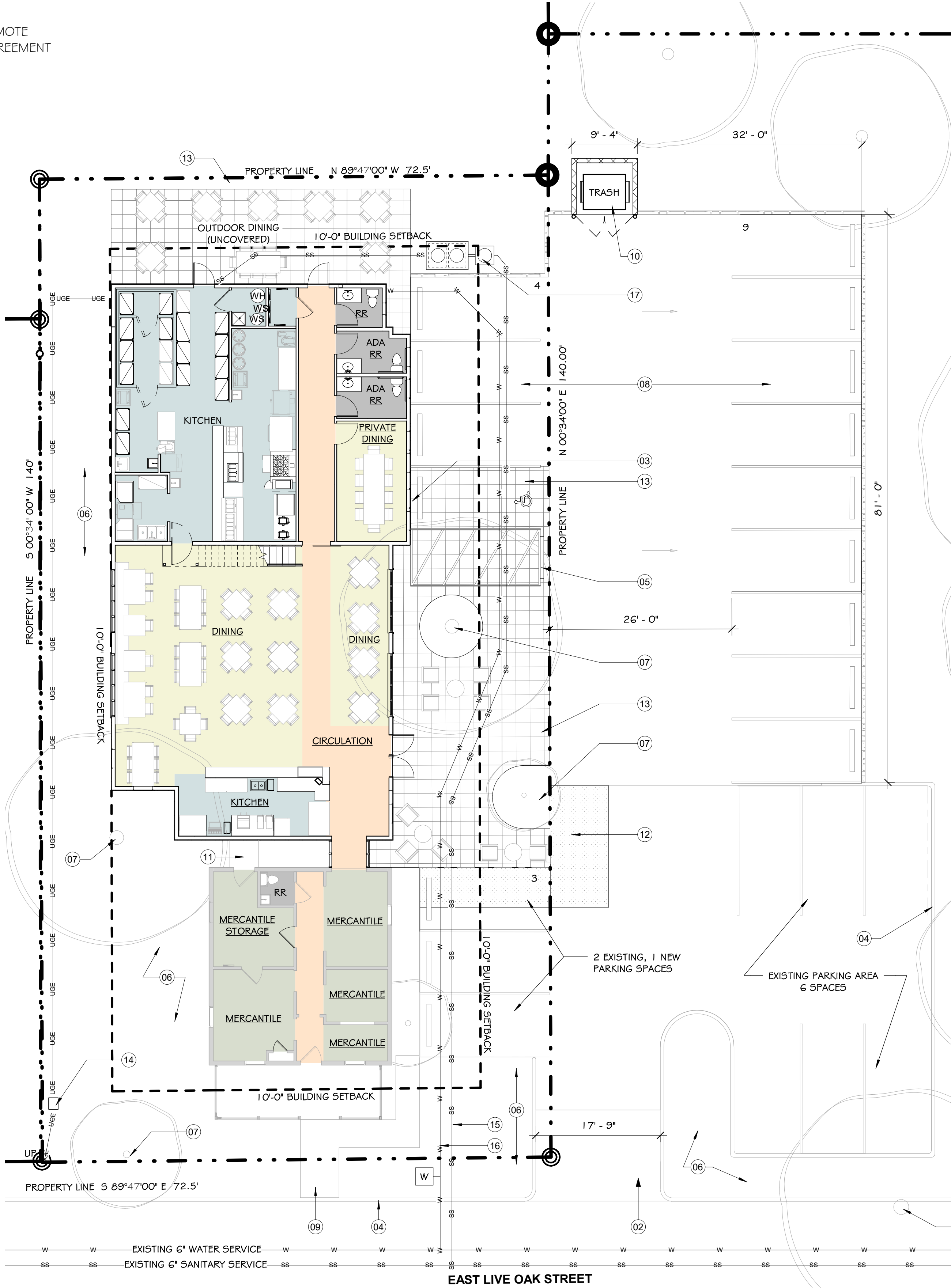
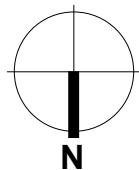
Original Issue Date: 00.00.00

A-001



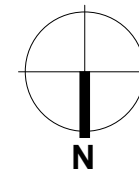
02 OVERALL SITE PLAN

SCALE: 1" = 20'-0"



01 SITE PLAN

SCALE: 1" = 10'-0"



SITE PLAN LEGEND

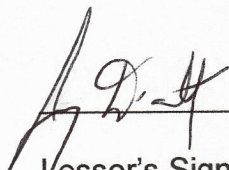
- FOUND 1/2" STEEL ROD
- ELECTRIC METER
- WATER METER
- NEW EXTERIOR SITE LIGHTING FIXTURES
- FIRE LANE AND ROAD EASEMENT
- PAVERS, REFER TO KEYED NOTES
- FIRE HYDRANT
- CONCRETE FLAT WORK, REFER TO KEYED NOTES

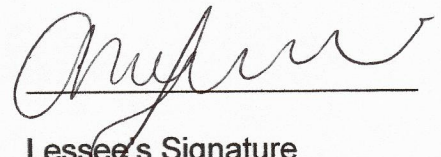
PARKING SPACE RENTAL AGREEMENT

- I. **The Parties.** This agreement dated on the 25 day of February, 2021 by and between Jeremy ITZ with a mailing address of 4877 Center Point Rd in the City of Fredericksburg, State of TX (Hereinafter known as the 'Lessor') and Angela Mancino with a mailing address of 7117 N Hwy 16 in the City of Fredericksburg, State of TX (Hereinafter known as the 'Lessee') for a parking space located at: 405 E live oak & Adjacent property (15 parking spaces)
- II. **Term.** The term of this agreement shall begin on the 1st day of May, 2021 and continue:
- (Check One)
- ☒ - until the 1st day of May, 2026.
- ☐ - on a month to month basis. Termination may be made by either party with at least 30 days' written notice. All notices shall be sent to the parties' information in Section I.
- III. **Renewal.** Automatic 5year renewal option available after term has expired unless specified.
- IV. **Rent.** The rental payment shall be due on the 5th of every month in the amount of _____ dollars (\$ 450.00). Payment shall be delivered to the Lessor by the Lessee in the following manner:

- V. **Subletting.** The Lessee is not allowed to sublease (sublet) the space without the direct written consent from the Lessor.
- VI. **Insurance.** Lessee must maintain current with insurance policy encompassing leased parking lot.
- VII. **Maintenance.** Lessee is required to keep the space free of hazardous oils, trash or liquids. Lessee will keep lot maintained and landscaped
- VIII. **Use of Space, Access & Damage.** The use of the space may be for the restaurant parking and direct access to lot of vehicles that are owned/leased by the owner. Access is also granted to sanitation pick up. Lessor is not liable for any damage done to the vehicle or personal property taken from it. All liability to the vehicle and personal property will be responsibility of the Lessee.
- IX. **Governing Law.** This agreement shall be governed under the laws in the State of Texas.

This agreement was signed on the 25 day of February, 20 .


Lessor's Signature


Lessee's Signature

Jeremy D. Itz
Lessor's Printed Name

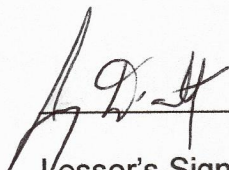
Angela Mancino
Lessee's Printed Name

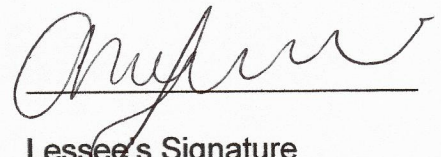
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- ☒ - until the 1st day of May, 2026.
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- IX. **Governing Law.** This agreement shall be governed under the laws in the State of Texas.

This agreement was signed on the 25 day of February, 20 .


Lessor's Signature


Lessee's Signature

Jeremy D. Itz
Lessor's Printed Name

Angela Mancino
Lessee's Printed Name



Project Application

City of Fredericksburg - Development Services Department
126 W. Main St., Fredericksburg, TX 78624 – (830)997-7521

A. Project Information (Please complete all items)

Project Name: WOERNER CAFE

Project Address: 405 E. LIVE OAK STREET

Tax ID Number (s): N/A

Application Type (Check all items that apply)

PDF COPIES ARE REQUIRED FOR ALL SUBMISSIONS

- | | | |
|---|--|--|
| ☐ Conditional Use Permit | ☐ Minor Plat* | ☐ Plat Vacation |
| ☒ Site Plan | ☐ Replat* | ☐ Annexation* |
| ☐ Zoning Change | ☐ Amending Plat* | ☐ Final Plat* |
| ☐ Land Use Plan Change | ☐ Preliminary Plat* | |

Revision of Approved Plan / Plat? ☐ Yes ☒ No Name:

Jurisdiction: ☒ City Limits ☐ ETJ Total Acres: No. of Lots:

Original Survey & Abstract No:

Legal Description: SOUTH SIDE BLK A LOT 1-PT & 2-PT

Current Land Use Plan:

Proposed Land Use Plan:

Current Zoning: M-1 LIGHT MANUFACTURING

Proposed Zoning: M-1 LIGHT MANUFACTURING

Location: 405 E. LIVE OAK STREET

Proposed Use(s): EXISTING BUILDING: MERCANTILE
SECONDARY BUILDING: RESTAURANT

Applicant's Signature

Applicant's Role: ☐ Owner ☐ Developer ☒ Other (note role): ARCHITECT

I hereby certify that the information supplied with this application is true and correct, and that the paper and electronic copies of the materials submitted are consistent with each other, to the best of my knowledge. I also certify I have authorization from the owner to act on his / her behalf.

Signature: Whitney Koch

Printed Name: WHITNEY KOCH, AIA, NCARB Date: 03.03.2021

Staff Use Only Application No.: _____ Date: _____

*Copy of current Title Search required with application.



Project Application

City of Fredericksburg - Development Services Department
126 W. Main St., Fredericksburg, TX 78624 – (830)997-7521

B. Contact Information (Please complete all items. Attach additional pages as necessary.)

I. Property Owner(s)

Firm Name (if applicable):

Owner Name: ANGELA MANCINO

Address: 405 E. LIVE OAK STREET, FREDERICKSBURG, TEXAS 78624

Phone: 830.225.3765

Fax:

Email: amancino77@yahoo.com

II. Owner's Agent/Engineer/Surveyor (Main contact person responsible for application)

Role: ☒ Agent ☐ Engineer ☐ Surveyor ☒ Other (note role): ARCHITECT

Firm Name (if applicable): MUSTARD DESIGN ARCHITECTS

Address: 209 S. LLANO STREET, SUITE B, FREDERICKSBURG, TEXAS 78624

Primary Contact Name: WHITNEY KOCH, AIA, NCARB

Phone: 830.997.7024

Fax: 830.212.4064

Email: wkoch@mustarddesign.net

Secondary Contact Name:

Phone:

Fax:

Email:

III. Applicant

Firm Name (if applicable): MUSTARD DESIGN ARCHITECTS

Applicant Name (s): WHITNEY KOCH, AIA, NCARB

Address: 209 S. LLANO STREET, SUITE B, FREDERICKSBURG, TEXAS 78624

Phone: 830.997.7024

Fax: 830.212.4064

Email: wkoch@mustarddesign.net

IV. Applicant's Agent/Engineer/Surveyor (Main contact person responsible for application)

Role: ☐ Agent ☐ Engineer ☐ Surveyor ☐ Other (note role):

Firm Name (if applicable):

Address:

Primary Contact Name:

Phone: Fax: Email:



Project Application

City of Fredericksburg - Development Services Department
126 W. Main St., Fredericksburg, TX 78624 – (830)997-7521

C. Fee Schedule (Please attach appropriate fee to application.)

- ☐ Conditional Use Permit Application - \$400
- ☐ Site Plan Application Admin - \$300
- ☒ Site Plan Application P&Z - \$400
- ☐ Application for Zoning Change - \$400
- ☐ Application for Land Use Change - \$300
- ☐ Minor Plat - \$300
- ☐ Amending Plat - \$300
- ☐ Replat - \$300 plus \$20 per lot
- ☐ Preliminary Plat - \$400 plus \$20 per lot
- ☐ Final Plat - \$500 plus \$10 per lot

D. Recording Fee Schedule

For plats, a recording fee will be collected when mylars are presented. The check should be made payable to Gillespie County Clerk and the recording fees are \$121.00 for a single lot plat. Each additional lot will increase the recording fee by \$10.00.



PLANNING & ZONING COMMISSION MEMO

DATE: April 7, 2020
TO: Planning and Zoning Commission
FROM: Jason Lutz
SUBJECT: Consider a Site Plan for a Multi-Family Residential Project located at 813 Wellness Court.

Summary: A Site Plan has been submitted to develop the property at 813 Wellness Court into a Multi-family apartment complex. The proposed complex will be developed with eleven (11) one-bedroom multi-family type units, outdoor amenities such as a pool, covered and open outdoor areas, required onsite parking, covered trash enclosure, landscaping, and dark sky compliant lighting. The wood framed, one -bedroom units will be single story, have a covered porch, be equipped with a fire sprinkler.

The Site Plan has been reviewed and meets all city code regarding land use and development regulations. The only outstanding issues are regarding drainage easements and fire protection (see the conditions listed by staff).

The fire code requires an extension of the fire lane along the norther property line to provide adequate fire coverage for all the units (see redline on the proposed site plan). The applicant has not provided the updated site plan, but they have been communicating with the fire marshal to meet his requirements.

Recommendation: Based on conformance with the zoning code, staff recommends approval of the proposed site plan with the following conditions:

1. Landscape plan be provided and approved prior to the commencement of construction.
2. Provide detention for the development in accordance with the City's stormwater control ordinance.
3. Utilize drainage easement across the neighboring tract for conveying storm water to the detention pond instead of conveyance through the cul-de-sac.

The City of Fredericksburg

4. Extend the fire lane further onto the site, along the norther property line, in order to provide adequate fire protection coverage.

Attachments:

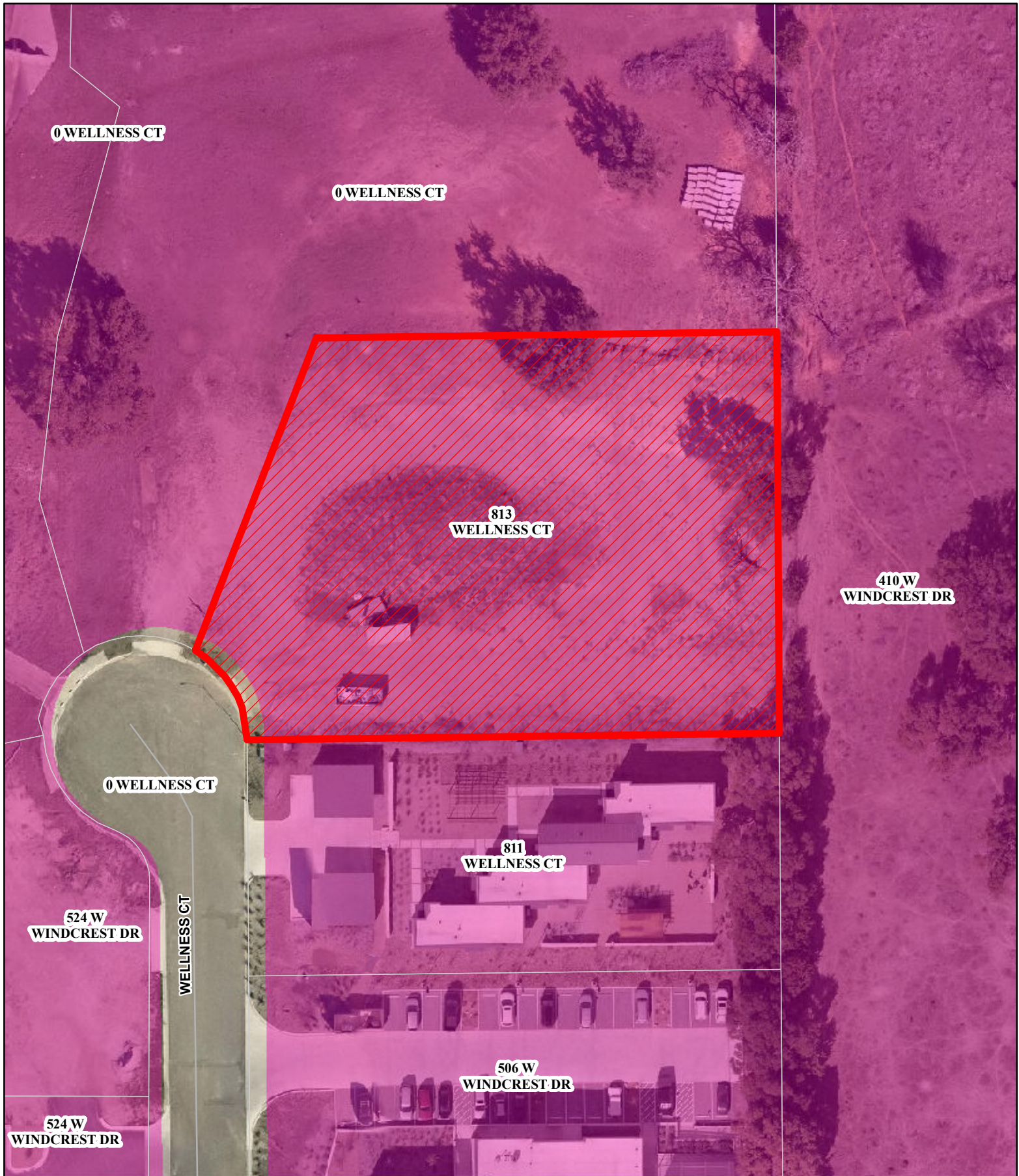
General Site Plan and Location Map.

Jason Lutz

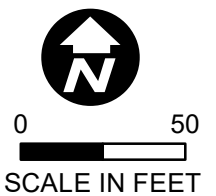
Department Approval

The City of Fredericksburg

126 W. Main St. • Fredericksburg, Texas 78624-3708 • (830) 997-7521 • Fax (830) 997-1861



Location Map





Project Application

City of Fredericksburg - Development Services Department
126 W. Main St., Fredericksburg, TX 78624 – (830)997-7521

B. Contact Information (Please complete all items. Attach additional pages as necessary.)

I. Property Owner(s)

Firm Name (if applicable):

Owner Name: RIPARIAN RESEARCH CORPORATION
P.O. BOX 463

Address: STONEWALL, TX 78671

Phone: (830) 998-1778

Fax:

Email: kbfpeake@gmail.com

II. Owner's Agent/Engineer/Surveyor (Main contact person responsible for application)

Role: ☐ Agent ☐ Engineer ☐ Surveyor ☒ Other (note role): ARCHITECT

Firm Name (if applicable): MUSTARD DESIGN ARCHITECTS

Address: 209 S. LLANO, SUITE B
FREDERICKSBURG, TX 78624

Primary Contact Name: ANDREW BRAY, AIA

Phone: 830.997.7024

Fax:

Email: abray@mustarddesign.net

Secondary Contact Name:

Phone:

Fax:

Email:

III. Applicant

Firm Name (if applicable): KATHERINE PEAKE for
Applicant Name (s): RIPARIAN RESEARCH CORPORATION
P.O. BOX 463

Address: STONEWALL, TX 78671

Phone: (830) 998-1778

Fax:

Email: kbfpeake@gmail.com

IV. Applicant's Agent/Engineer/Surveyor (Main contact person responsible for application)

Role: ☐ Agent ☐ Engineer ☐ Surveyor ☒ Other (note role): ARCHITECT

Firm Name (if applicable): MUSTARD DESIGN ARCHITECTS

Address: 209 S. LLANO, SUITE B
FREDERICKSBURG, TX 78624

Primary Contact Name: ANDREW BRAY, AIA

Phone: 830.997.7024

Fax:

Email: abray@mustarddesign.net



March 8, 2021

Mr. Jason Lutz

Director of Development
City of Fredericksburg, Texas

jlutz@fbgtx.org

RE: 813 Wellness Court Development
Proposed site plan for review and approval
by City of Fredericksburg Planning & Zoning Commission

The 1.09-acre lot is currently an undeveloped vacant lot, public utilities are provided in the utility easement and in the public street. The lot sits at the end of the Wellness Court cul-de-sac, drainage for the site is designed to flow towards the existing water retention pond located to the northwest. The development is planned to have eleven (11) one-bedroom multi-family type units, outdoor amenities such as a pool, covered and open outdoor areas, required on site parking, covered trash enclosure, landscaping and dark sky compliant lighting. The wood framed, one -bedroom units will be single story, have a covered porch, be equipped with a fire sprinkler system and be in keeping with the adjacent developments.



Project Application

City of Fredericksburg - Development Services Department
126 W. Main St., Fredericksburg, TX 78624 – (830)997-7521

C. Fee Schedule (Please attach appropriate fee to application.)

- ☐ Conditional Use Permit Application - \$400
- ☐ Site Plan Application Admin - \$300
- ☒ Site Plan Application P&Z - \$400
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For plats, a recording fee will be collected when mylars are presented. The check should be made payable to Gillespie County Clerk and the recording fees are \$121.00 for a single lot plat. Each additional lot will increase the recording fee by \$10.00.



SITE PLAN/CONDITIONAL USE PERMIT CHECKLIST P & Z and Administrative Review

- Address and legal description of property
- Proof of title showing the owner and lien holders, if any
- Brief description of the proposed use, including information pertinent to the review and evaluation criteria stated in Section 7.131
- 6 Copies of the Site Plan (24" x 36" sheet size)
- PDF copies emailed to scollier@fbgtx.org
- The site plan shall be drawn to scale, and sufficiently dimensional as necessary to show the following:
- The date, scale, north point, title, name of owner and name of person preparing the Site Plan.
- The location and dimension of boundary lines, easements, and required yards and setbacks of all existing and proposed buildings and land improvements.
- The location, height and intended use of existing and proposed buildings on site, and approximate locations of buildings on abutting sites within 50'
- The location of existing and proposed improvements including parking and loading areas, pedestrian and vehicular access and utility or service areas.
- The location of existing and proposed fencing and screening.
- Proposed exterior lighting, including fixture type.
- The center line of existing water courses, drainage features and 100-year floodplain.
- On sites affected by the 100 year floodplain, impervious coverage and building coverage are based on the area outside the floodplain. Provide calculations accordingly.
- Location and size of existing and proposed streets and alleys.
- The number of existing and proposed parking and loading spaces, and a calculation of applicable minimum requirements.
- Zoning summary, including type, minimum and actual lot size, setbacks, maximum and actual building height, building coverage and impervious coverage.
- Sites with 10% or greater slope, provide existing and proposed topography and grading (5' minimum contour intervals), and erosion control measures.
- The location of signs, if known.
- Location of solid waste container.
- Locations of proposed and existing water, sewer and electric utilities.
- The location of the visibility triangle at street intersections and driveways.
- Fire Lanes
- Landscaping, including location, size, and species of existing trees on site, square footage of all proposed landscape areas [LANDSCAPE WILL BE PROVIDED AND SUBMITTED AS PART OF THE PERMIT DOCUMENTS FOR CITY REVIEW](#)
- Applicable Fee

Note: Additional information may be required to complete review of proposed project by City of Fredericksburg.

I hereby acknowledge that the items listed above are included with this submittal and that any items not included with this application will result in this application being deemed incomplete and returned without review or scheduled for the upcoming meeting dates.

Owner/Agent: ALBERT Date: 03.08.21

Printed Name: ANDREW BRAY

\\NAS\current projects file\Current Projects File\2020\2006 - WELLNESS COURT B&B\02 - Drawings\02 - Schematic design (SD)\2006 - Windcrest B & B - SD.07.rvt

OWNER INFORMATION:

RIPARIAN RESEARCH CORPORATION
P.O. BOX 463
STONEWALL, TX 78671

LEGAL DESCRIPTION:

WINDCREST MEDICAL ADDITION LOT 3CR, 1.09, -REPLAT OF LT 3,
ABSTRACT 518141

ZONING:

ZONED: C-1 NEIGHBORHOOD COMMERCIAL
PROPOSED USE: MULTIPLE FAMILY RESIDENTIAL
(11) - ONE BEDROOM RESIDENCES

MIN. ALLOWABLE LOT AREA: 7,500 SQ FT
TOTAL LOT AREA: TRACT 2: MULTI-FAMILY RESIDENTIAL
1.09 ACRES (47,489 SQFT)

RESIDENTIAL DENSITY: EFFICIENCY: 1,600 SQFT/UNIT
1 BEDROOM: 2,000 SQFT/UNIT

PROPOSED DENSITY: ELEVEN (11) 1 BEDROOM UNITS
11 x 500 = 5,500 SQFT
LOT AREA PROVIDED = 47,489 SQFT

SETBACKS:
FRONT YARD: 25 FT
INTERIOR SIDE YARD: 5 FT
REAR SIDE YARD: 10 FT

MAX. ALLOWABLE BUILDING COVERAGE: 50% OF LOT AREA
TOTAL PROPOSED BUILDING COVERAGE: 11% (5,381 SF)

MAX ALLOWABLE IMPERVIOUS COVERAGE: 70% OF LOT AREA
PROPOSED IMPERVIOUS COVERAGE: 45% (21,564 SF)

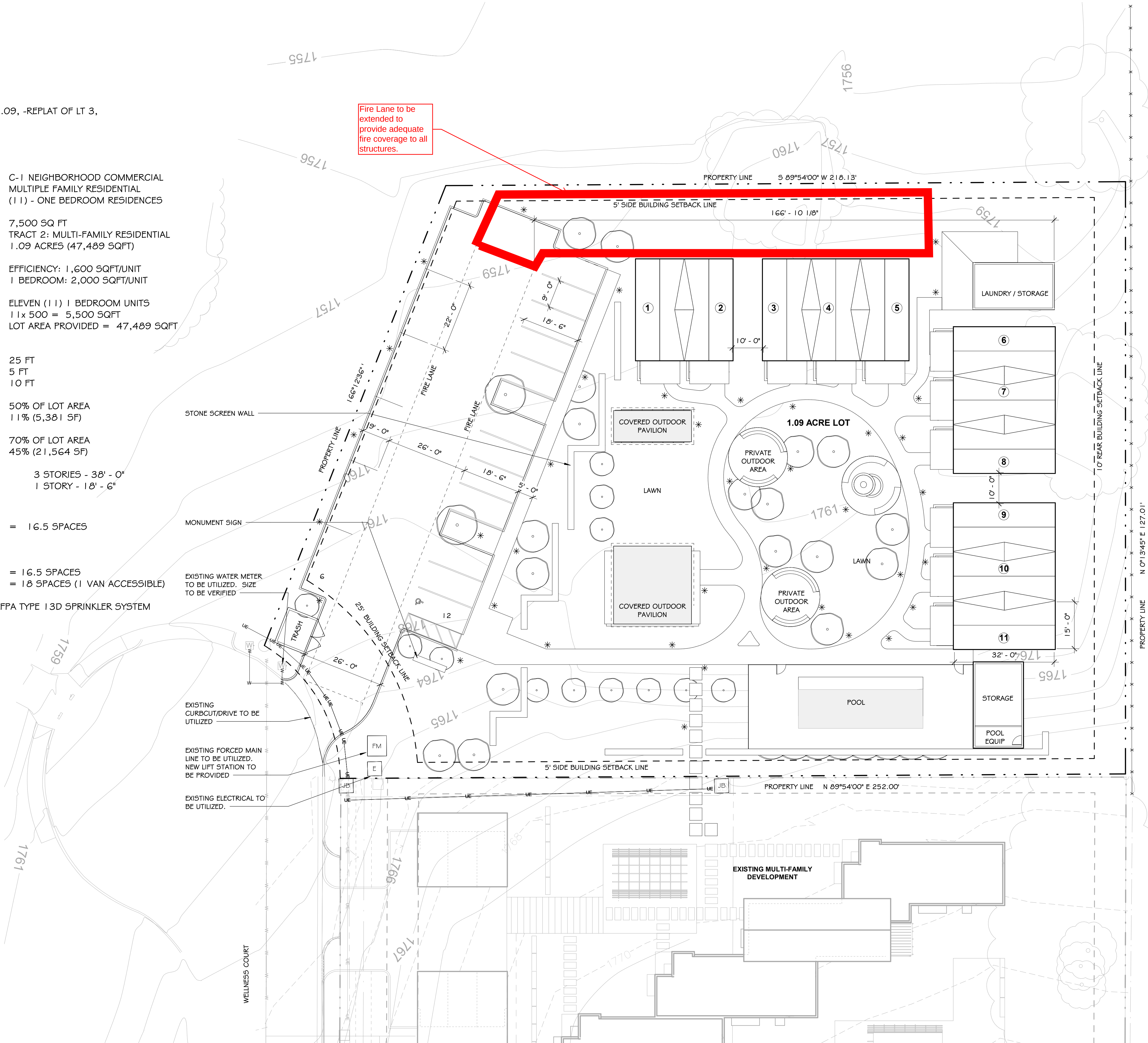
MAXIMUM ALLOWABLE BUILDING HEIGHT: 3 STORIES - 38' - 0"
MAXIMUM PROPOSED BUILDING HEIGHT: 1 STORY - 18' - 6"

REQUIRED PARKING SPACES:

MULTIPLE FAMILY RESIDENTIAL = 16.5 SPACES
11 DWELLING UNITS x 1.5 SPACES
(1.5 SPACES PER DWELLING UNIT)

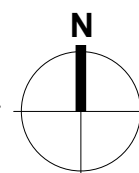
TOTAL REQ. PARKING = 16.5 SPACES
TOTAL PROVIDED PARKING = 18 SPACES (1 VAN ACCESSIBLE)

ALL UNITS SHALL BE PROTECTED WITH AN NFPA TYPE 1 3D SPRINKLER SYSTEM



01 SITE PLAN

SCALE: 1/16" = 1'-0"



© 2018 MUSTARD DESIGN

mustard
DESIGN

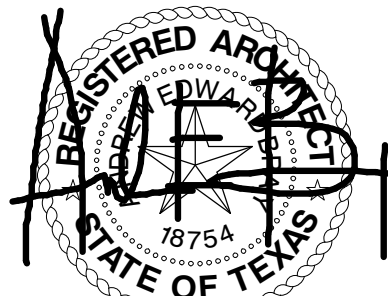
209 S Llano Street, Suite B
Fredericksburg, Texas 78624
830.997.7024

WELLNESS COURT DEVELOPMENT

813 WELLNESS COURT
FREDERICKSBURG, TX 78624

REVISIONS
NO. DATE

1	
2	
3	
4	
5	
6	
7	
8	
9	
10	
11	



03.08.21

SITE PLAN

Drawn By: BGB/AEB

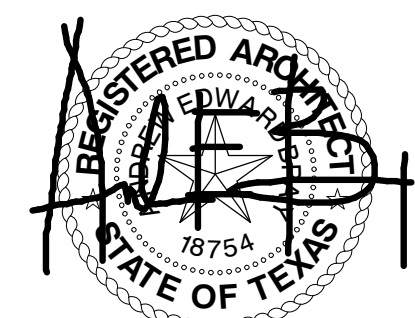
Checked By: AEB

Approved By: AEB

Project No. 2006

Original Issue Date: 00.00.00

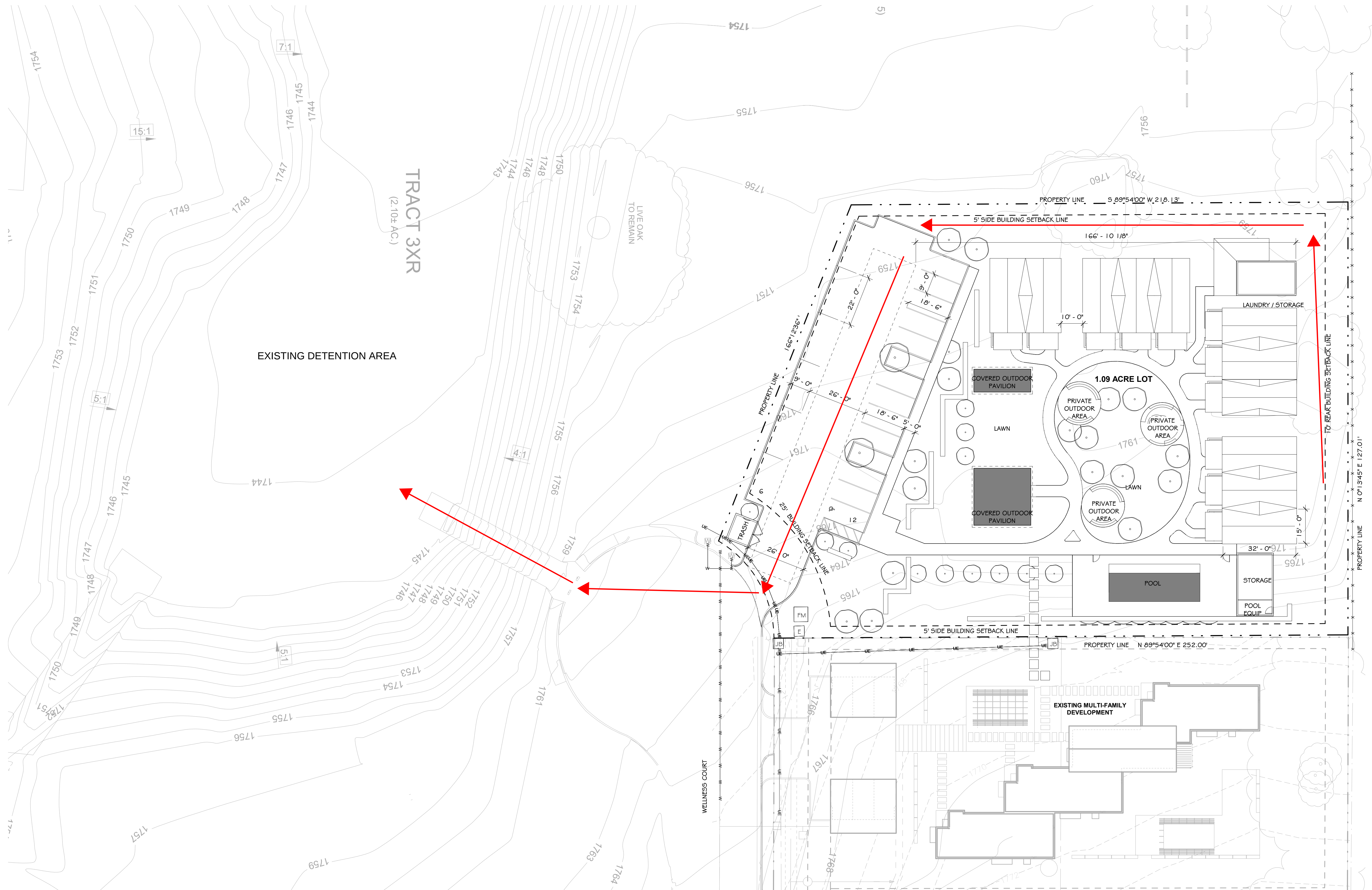
A-001

[illegible]

DRAINAGE SKETCH

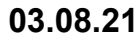
Original Issue Date:	00.00.00
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A-002



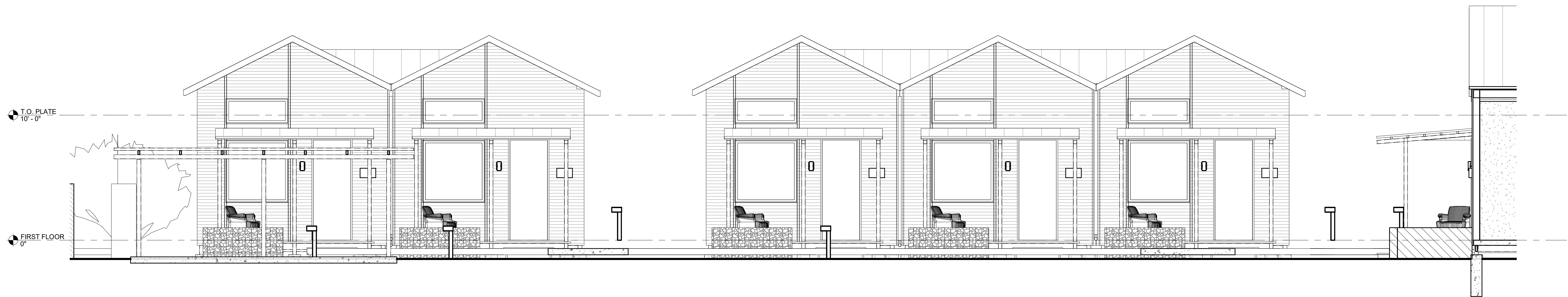
1 Drainage sketch

SCALE: 1" = 20'-0"

[illegible]

Original Issue Date: 00.00.0

A-201



SCALE: 1/4" = 1'-0"

LED garden and pathway bollard

Post construction: One piece extruded aluminum. All aluminum in the construction is marine grade and copper free.

Lamp Enclosure: One piece die cast aluminum housing attached to post using two (2) captive stainless steel screws threaded into stainless steel inserts. Matte safety glass lens. Fully gasketed using a one piece molded silicone gasket.

Electrical: 2.1W LED luminaire, 3.4 total system watts, -30°C start temperature. Integral 12V AC driver provided must be operated using remote magnetic transformer. Standard LED color temperature is 3000K with a >90 CRI.

Note: LEDs supplied with luminaire. Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject to change at the discretion of BEGA-US. For the most current technical data, please refer to www.bega-us.com.

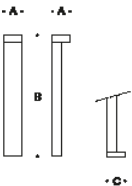
Anchor base: Anchor base made of galvanized steel, made for bolting into foundation or other paved surface. Bollards are secured to anchor base using two (2) stainless steel set screws.

Finish: Available in four standard BEGA color: Black (BLK); White (WHT); Bronze (BRZ); Silver (SLV). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order.

Please note: BEGA's approach to product design is to innovate, not follow. With a steadfast commitment to quality, each product is conceived to satisfy a general or specific lighting task as defined by its architectural or exterior surroundings. The Home and Garden Collection is designed specifically for use in Residential and Light Commercial applications. Please reference our standard BEGA portfolio when mounting provisions for the rigorous demands of high-use commercial and/or vandal prone settings are required.

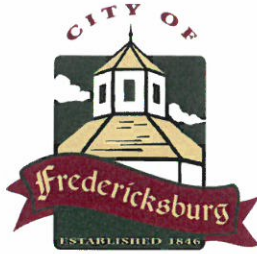
CSA certified to U.S. and Canadian standards, suitable for wet locations. Protection class IP65

Weight: 6.3 lbs.



		Lamp	A	B	C
77 264	with hardscape base	2.1 W LED	4 3/8	27 1/2	4 3/8





March 24, 2021

Andy Bray
Mustard Design Architects
209 S. Llano Street, Suite B
Fredericksburg, TX 78624

**RE: SP-2103 Review Comments for a Site Plan for Property Located at 813 Wellness Court
Referred to as the Wellness Court Development.**

Dear Mr. Bray,

Please review the following comments and address appropriately. Please provide a written response as to how the items are addressed in addition to the revised Plat. Plans will not be reviewed or considered without a response sheet.

1. Verify with the Fire Marshall that all buildings meet the requirement for hose length in relation to the rear buildings and the provided fire lane.
- 2.
3. Staff can recommend approval of the proposed site plan for the property, with the condition that all other staff comments are adequately addressed, and a landscape plan be provided and approved prior to the commencement of construction.
4. Please utilize drainage easement across the neighboring tract for conveying storm water to the detention pond instead of conveyance through the cul-de-sac.

Please feel free to contact me with any comments or questions, and I will be happy to assist you. Please return the revised plans along with your written response as to how the comments have been addressed by Monday, March 29, 2021.

Sincerely,

Shelby Collier
Development Review Committee (DRC)

The City of Fredericksburg

126 W. Main St. • Fredericksburg, Texas 78624-3708 • (830) 997-7521 • Fax (830) 997-1861



PLANNING & ZONING COMMISSION MEMO

DATE: April 5, 2021

TO: Planning & Zoning Commission

FROM: Jason Lutz

SUBJECT: Z-2101 –Annexation & Zoning.

Summary:

The applicant is requesting annexation in order to develop a mixed-use development that will contain multi-family structures, single-family type structures, commercial facilities, and office/live work facilities.

The project area consists of approximately 32 acres of land located at the southwest corner of Friendship Lane and South Eagle Street. Approximately 27 acres are in the City limit and an additional 5 acres of land located in the ETJ.

The applicant is requesting a zoning designation of Planned Unit Development (PUD), for the 5 acres being annexed to obtain the correct zoning for the project. The PUD zoning requested is the same zoning and regulations approved by P&Z and Council regarding the adjacent property, currently in the City limits.

The City's Future Land Use Plan, for the subject area, was amended from Rural Residential (RR) to Mixed Use Corridor (MUC).

The PUD approved for the portion of the project within the City Limits had several conditions/regulations imposed by Council. These regulations can be found below.

The City of Fredericksburg

126 W. Main St. • Fredericksburg, Texas 78624-3708 • (830) 997-7521 • Fax (830) 997-1861

PUD Regulations:

1. Base zoning of MU-2, regarding development standards.
2. The following land uses shall be prohibited from the Planned Unit Development (PUD);
 - a. Cocktail Lounge
 - b. Outdoor Amplified Music
 - c. Food Sales
 - d. Laundry Services
 - e. Liquor Sales
 - f. Mobil Food
 - g. Outdoor Entertainment
 - h. Drive-In Fast Food
 - i. Custom Manufacturing
 - j. Kennels
3. The following land uses may be allowed with a Conditional Use Permit (CUP)
 - a. Convenience Services
4. Buildings labeled MF-1 & 2, located on Tract A at the at the northeast corner of the property, shall be limited to 2 stories.
5. The rear setback shall be 25'.

At the time this packet was distributed no protest letters were received.

Recommendation:

Staff recommends Approval of the requested PUD zoning, with the same regulations found on the adjacent property located within the City Limits.

Attachments:

Existing PUD (adjacent City limit property), Location Map



Department Approval

The City of Fredericksburg

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF FREDERICKSBURG, TEXAS, AMENDING THE ZONING ORDINANCE OF THE CITY AND CHANGING THE ZONING DISTRICT FOR APPROXIMATELY 27.62 ACRES OF LAND LOCATED AT THE SOUTHWEST CORNER OF FRIENDSHIP LANE AND SOUTH EAGLE STREET IN FREDERICKSBURG, TEXAS; CHANGING SAID PROPERTY FROM MIXED RESIDENTIAL (R-2) TO PLANNED UNIT DEVELOPMENT (PUD) ZONING FOR SAID PROPERTY; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, an Application for Rezoning has been submitted by the owner of approximately 27.62 acres of land located at the southwest corner of Friendship Lane and South Eagle Street, to establish Planned Unit Development (PUD) zoning upon said property; and

WHEREAS, public hearings before the Planning and Zoning Commission and the City Council of the City of Fredericksburg have been duly noticed and held regarding such application, as required by the City of Fredericksburg Zoning Ordinance; and

WHEREAS, the Planning and Zoning Commission has determined that such zoning change is in conformity with the uses established by the Comprehensive Land Use Plan of the City of Fredericksburg and is consistent with the objectives of the City of Fredericksburg Zoning Ordinance, and has recommended to the City Council of the City of Fredericksburg, based upon positive findings under the review and evaluation criteria established by such ordinance, that the rezoning be enacted; and

WHEREAS, the City Council has specifically found, following public hearing, that such change is consistent with the objectives of the City of Fredericksburg Zoning Ordinance and Comprehensive Land Use Plan of the City of Fredericksburg and there has not been a protest against rezoning signed by owners of twenty per cent (20%) or more of the area of the property included in the zoning request, or of the area of the property immediately adjoining the same and extending two hundred feet (200') therefrom.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF FREDERICKSBURG, TEXAS:

Section 1. That the zoning ordinance of the City of Fredericksburg is hereby amended to incorporate the certain change in zoning district as follows:

All of those certain lots, tracts, or parcels of land, specifically identified as:

BEING all of that certain 27.62 acre tract of land out of the J. Bargas Survey No. 115, Abstract No. 53, Gillespie County, Texas, being portions of Outlots,

1, 2, 3, 6, 7, 8, 9 being out of the remaining portion of a called 44.435 acre tract, recorded in Volume 555, Page 187, Official Public Records of Gillespie County, Texas, situated in the City of Fredericksburg, Gillespie County, Texas, and as shown on the map attached hereto as Exhibit "A",

to be and are hereby zoned and designated as a Planned Unit Development ("PUD"), as more particularly described on the PUD Plan set forth in Exhibit "B", and the PUD Notes set forth in Exhibit "C", copies of which are attached hereto and made a part hereof.

Section 2. That all references in City of Fredericksburg Code of Ordinances to the Zoning Ordinance shall henceforth refer to such as is amended hereby.

Section 3. That this Ordinance shall take effect upon the date of its passage.

PASSED AND APPROVED on this the ____ day of _____, 20____.

Charlie Kiehne, Mayor
City of Fredericksburg, Texas

ATTEST:

Shelley Goodwin, TRMC
City Secretary

APPROVED AS TO FORM:

Daniel D. Jones, City Attorney

LEGEND

-  Request #1 - Zoning Change
-  Notification Area
-  GCAD Parcels
-  City Limit Boundary

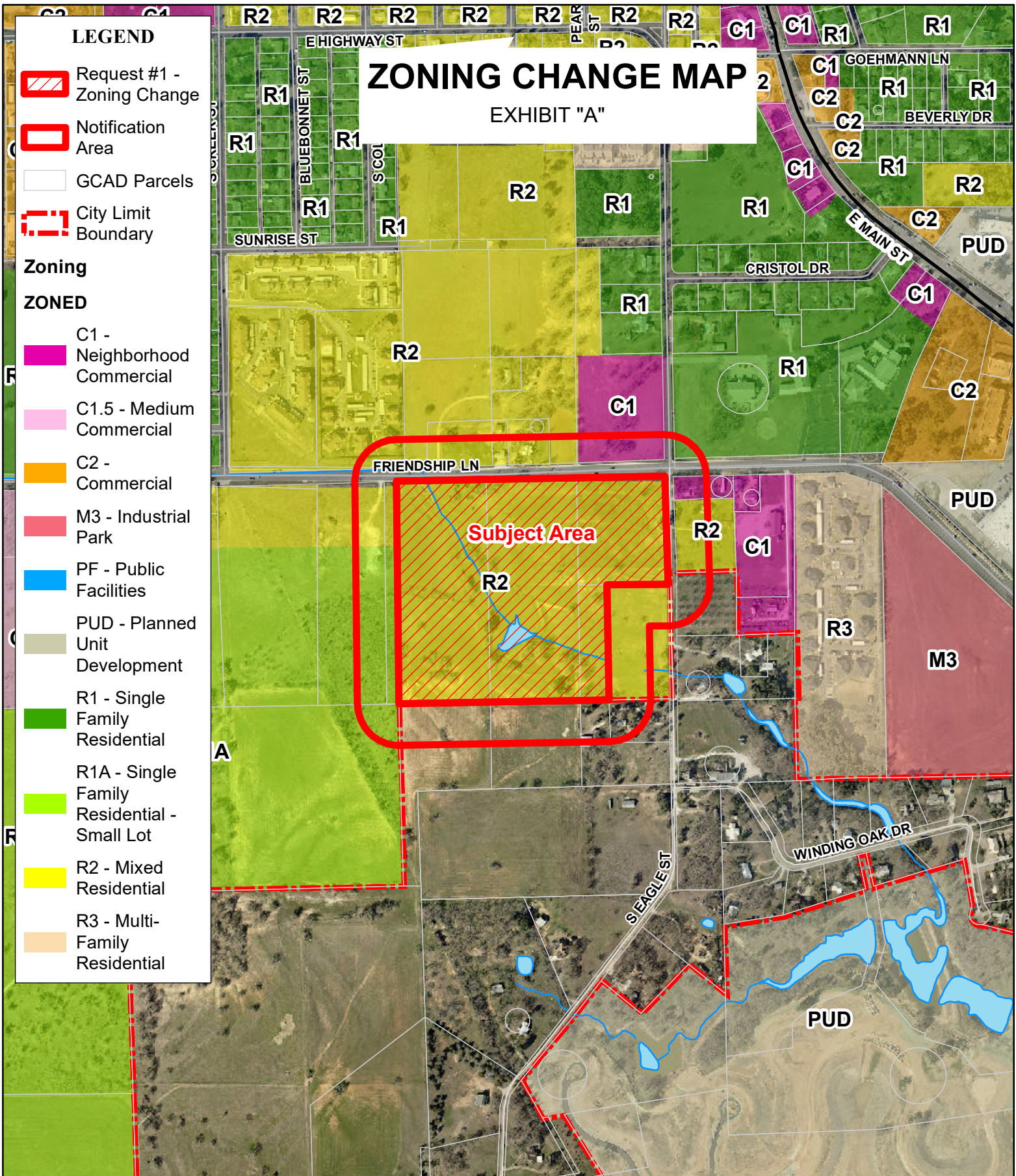
Zoning

ZONED

- C1 - Neighborhood Commercial
- C1.5 - Medium Commercial
- C2 - Commercial
- M3 - Industrial Park
- PF - Public Facilities
- PUD - Planned Unit Development
- R1 - Single Family Residential
- R1A - Single Family Residential - Small Lot
- R2 - Mixed Residential
- R3 - Multi-Family Residential

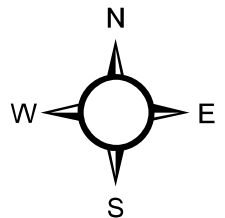
ZONING CHANGE MAP

EXHIBIT "A"



0 150 300 600
SCALE IN FEET

1 inch = 600 feet





Lot A (Phase-1A) + Lot B (Phase-1B)		
Residential (1000 sf avg):	117 units	96 MF units / 21 SF houses (Unit Mix: 50% 1 BR, 40% 2 BR, and 10% 3BR)
Leasing/Amenity:	8,000 s.f.	
Retail:	10,000 s.f.	
Office/Live Work:	8,000 s.f.	
Parking Required:	292 sps	
Residential:	205 sps	(1.75 sps/unit)
Retail:	67 sps	(Assume 1sp/150 s.f)
Office/LW:	20 sps	(1sp/400 s.f)
Parking Provided:	330 sps	
Residential:	230 sps	(1.96 sps/unit)
Retail:	70 sps	(Assume 1sp/150 s.f)
Office/LW:	30 sps	(1 sp/270 s.f)
Site Area Gross:	11.21 Acres	
Lot C (Phase-2)		
Residential (1000 sf avg):	130 units	108 MF units / 22 SF houses (Unit Mix: 50% 1 BR, 40% 2 BR, and 10% 3BR)
Amenity:	3,000 s.f.	
Parking Required (Residential):	228 sps	(1.75 sps/unit)
Parking Provided (Residential):	230 sps	(1.77 sps/unit)
Site Area Gross:	11.42 Acres	
Lot D (Phase-3)		
Residential (1000 sf avg):	168 units	150 MF units / 18 SF houses (Unit Mix: 50% 1 BR, 40% 2 BR, and 10% 3BR)
Amenity:	3,000 s.f.	
Parking Required (Residential):	294 sps	(1.75 sps/unit)
Parking Provided (Residential):	294 sps	(1.75 sps/unit)
Site Area Gross:	9.92 Acres	
Total Tracts		
Residential (1000 sf avg):	415 units	354 MF units / 61 SF houses (Unit Mix: 50% 1 BR, 40% 2 BR, and 10% 3BR)
Leasing/Amenity:	14,000 s.f.	
Retail:	10,000 s.f.	
Office/Live Work:	8,000 s.f.	
Parking Required:	814 sps	
Parking Provided:	854 sps	
Site Area Gross:	32.55 Acres	
Density Gross:	13 Units/Acre	

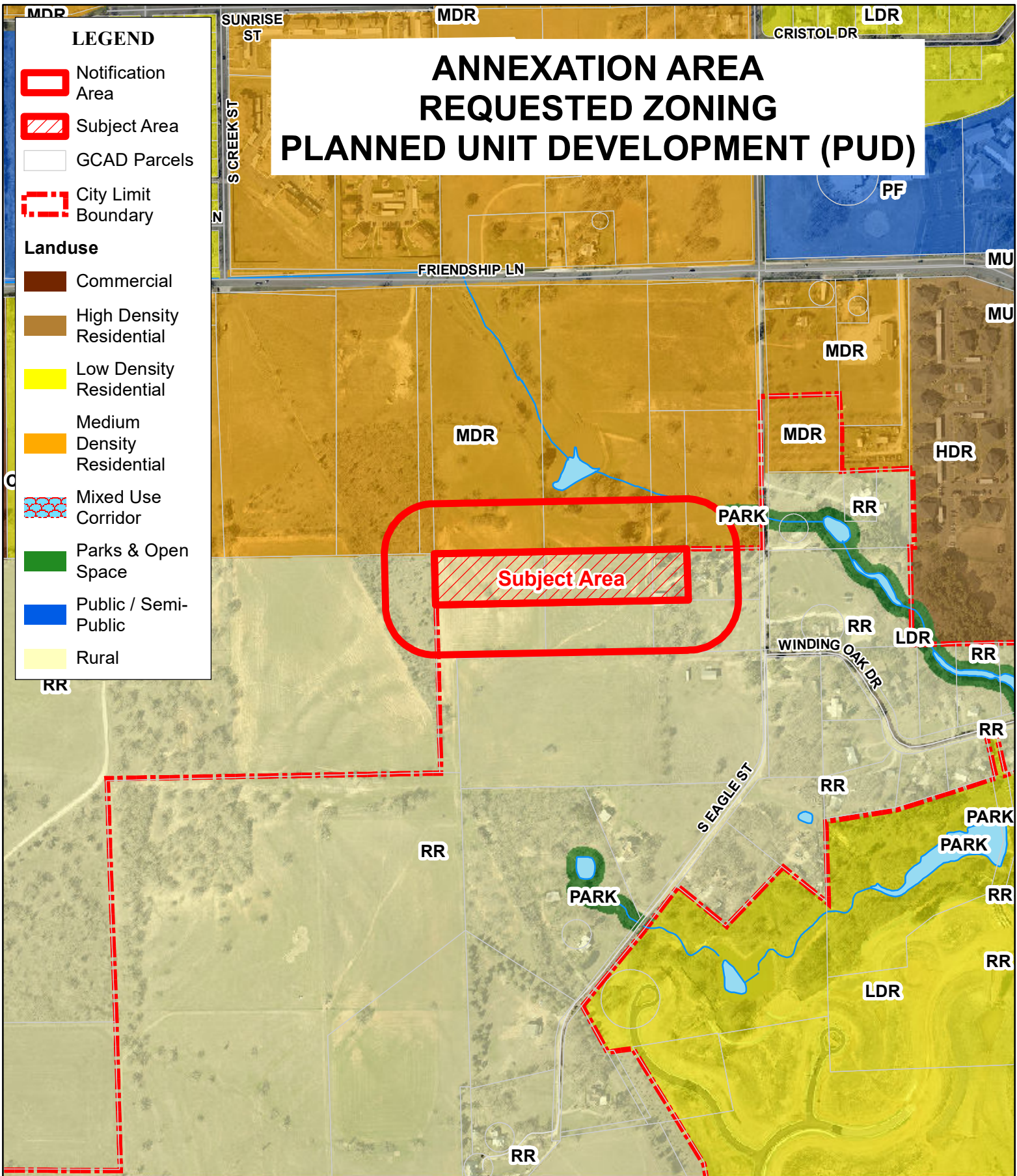
ANNEXATION AREA REQUESTED ZONING PLANNED UNIT DEVELOPMENT (PUD)

LEGEND

-  Notification Area
-  Subject Area
-  GCAD Parcels
-  City Limit Boundary

Landuse

-  Commercial
-  High Density Residential
-  Low Density Residential
-  Medium Density Residential
-  Mixed Use Corridor
-  Parks & Open Space
-  Public / Semi-Public
-  Rural



0 250 500 1,000

SCALE IN FEET

1 inch = 500 feet

