



CITY OF FREDERICKSBURG

REGULAR PLANNING AND ZONING AGENDA WEDNESDAY, SEPTEMBER 4, 2019 ~ 5:30 P.M. LAW ENFORCEMENT CENTER ~ 1601 EAST MAIN STREET

Janice Menking, Chair
Jim Jarreau, Member
Daryl Whitworth, Member
Brenda Segner, Member
Jill Tabor, Member

Polly Rickert, Member
Chris Kaiser, Member
Tim Dooley, Member
Steve Thomas, Member

The Planning and Zoning Commission will meet in a regular session on September 4, 2019 at 5:30 p.m. in the Law Enforcement Center, 1601 East Main Street, Fredericksburg, Texas. This is an open meeting, open to the public, subject to the Open Meetings Law of the State of Texas, and as required by law, notice is hereby posted on August 30, 2019 before 5:00 p.m., providing time, place, date and agenda thereof. The meeting facility is wheelchair accessible and accessible parking spaces are provided. Requests for accommodations or interpretative services must be made to the City Secretary 48 hours prior to this meeting.

(Please turn off all pagers and phones, except emergency on-call personnel.)

1. CALL TO ORDER

2. ROLL CALL

3. APPROVAL OF MEETING MINUTES

August 2019 regular meeting minutes

4. PUBLIC HEARING

- A. (Z-1915) Request by Chris Frishkey to amend the Land Use Plan from Low Density Residential to Medium Density Residential and to change the Zoning from R1, Single Family Residential, to R2, Mixed Residential, on property located at 207 S. Bowie Street.

5. ACTION ITEMS

- A. Receive recommendation and consider (Z-1915)
- B. Consider (SP-1815) Request by Kevin Spraggins on behalf of Buffalo Capital Partners for a Site Plan related to a Hotel located at 618 & 620 E. San Antonio Street.
- C. Consider (SP-1916) Request by Jesse Barter on behalf of Texas Food & Wine Hunter, LLC for a Site Plan related to a restaurant at 206-210 S. Adams.

6. MISCELLANEOUS

7. ADJOURN

This is to certify that I, Shelby Collier, posted this Agenda at 11:00 a.m. on August 30, 2019 on the entrance door and bulletin board at the City of Fredericksburg City Hall, 126 W. Main St., Fredericksburg, Texas.

A handwritten signature in black ink, appearing to read "Shelby", written over a horizontal line.

Shelby Collier,
Development Coordinator

**STATE OF TEXAS
COUNTY OF GILLESPIE
CITY OF FREDERICKSBURG**

**PLANNING & ZONING COMMISSION
AUGUST 7, 2019
5:30 P.M.**

On this the 7th day of August, 2019 the PLANNING AND ZONING COMMISSION convened in regular Session at the Law Enforcement Center with the following members present to constitute a quorum:

PRESENT:

JANICE MENKING
POLLY RICKERT
TIM DOOLEY
BRENDA SEGNER
STEVE THOMAS
JIM JARREAU
CHRIST KAISER
DARYL WHITWORTH
JILL TABOR

ABSENT:

ALSO PRESENT:

BRIAN JORDAN – Director of Development Services
DANIEL JONES – City Attorney
SHELBY COLLIER – Development Coordinator
EVAN WILLIAMSON - Engineer

Janice Menking called the meeting to order at 5:30 P.M.

MINUTES

Jim Jarreau moved to approve the minutes of the June 2019 meeting and Steve Thomas seconded the motion. All voted in favor and the motion carried.

Commission to elect a chairman and vice chairman

Jim Jarreau made a motion to nominate Janice Menking for Chairman. Motion seconded by Tim Dooley. All voted in favor and the motion carried.

Brenda Segner made a motion to nominate Polly Rickert for Vice Chariman. Motion seconded by Tim Dooley. All voted in favor and the motion carreid.

PUBLIC HEARING

Consider (Z-1914) Request by George Wilcox on behalf of Keidel Family General Partnership for a Conditional Use Permit to operate a hotel in the Central Business District located in the 200 block of East Austin Street.

Daryl Whitworth made a motion to open the Public Hearing. Jim Jarreau seconded the motion. All voted in favor and the motion carried.

George Wilcox presented the application. He began his presentation by stating this project has received conceptual approval from the Historic Review Board in July. He gave a broad overview of the project, stating it is

a 3 story hotel project that will also have retail elements as well as food and beverage fronting on East Main Street. As part of this project, a parking structure is proposed on the North side of East Austin Street. The Parking structure will be two story but only 1 level will be visible from East Austin Street. The parking structure is proposed to be Valet Parking only.

Jim Jarreau made a motion to close the Public Hearing. Brenda Segner seconded the motion. All voted in favor and the motion carried.

ACTION ITEM

Janice Menking called the item to receive recommendation and consider (Z-1914)

Brian Jordan, Director of Development Services, stated the applicant is requesting a Conditional Use Permit to allow a Hotel in the Central Business District and a Site Plan for a Parking Structure on E. Austin Street. The proposed development includes new retail space fronting on Main Street a hotel, restrooms and a BBQ Smoker/Service building. In addition, the existing historic buildings on site will be repurposed for the following: Albertina House (former Keidel Residence) – guest rooms, Keidel Pharmacy – café, White Elephant Saloon – bar and the Brockmann-Kiehne House – outdoor restaurant space. Parking for the project is proposed in the parking structure and on an adjoining property.

The project has been designed to take into account the surrounding properties. Conceptual plans have been presented to the Historic Review Board and a general approval has been received. The latest plans will be presented at the meeting next month.

The applicants are proposing to accommodate parking for the project in the parking structure across Austin Street and by leasing space on an adjoining property. According to the applicant, valet parking will be provided for the hotel guests. The Zoning Ordinance exempts parking for the uses proposed within the existing historic structures, allows a 50% reduction for the retail space, event space, restaurant, bar and spa, and requires 100% of the required parking for the hotel.

Based on this criteria, the minimum number of parking spaces are being provided. Unique to this project is that all of the required parking spaces will be provided off-site to the project. In addition, the proposed parking structure is located across Austin Street, a very busy thoroughfare with parking on both sides of the street. To address this concern, the applicant is proposing that hotel guest will use the valet parking and not be crossing the street. We do not object to this concept, but believe there will be challenges to ensuring all hotel guests use only the valet option.

The proposed parking structure will have two levels. Because the site slopes toward the creek, the lower level will be below the level of the street, and the upper level will be at street level. A total of 139 spaces will be provided in the structure, 53 of which are designed as compact spaces. The project proposes a circular drive from Austin Street to provide pedestrian access and guest drop-off to the hotel. In addition, this drive will provide for employee access and receiving. Access to the parking structure is provided by drives on the east and west end of the proposed structure.

Brian also commented on the need to secure the continuance of the off street parking such as a parking agreement.

Polly Rickert asked what the max height is for the CBD Zone. Brian Jordan responded 38 ft. Polly Rickert asked how far off of the streets is the 3rd story building. Brian Jordan stated based on the dimensions on the plan the building is 75 feet on the Main Street side and 125 feet on the Austin Street side.

Polly Rickert asked about the parking structure and the leased parking lot. She asked if there would be barriers preventing the general public from accessing the lot. George Wilcox stated that was the intent.

Daryl Whitworth asked how many spaces were in the leased lot. George Wilcox responded it provides 17 spaces.

Brenda Segner stated she had mixed feelings about the canopy's over the parking garage. Brian Jordan stated the Historic Review Board has approved this and there is also a Landscape buffer requirement. Brenda Segner stated she feels this will look very industrial and reminiscent of a car dealership. She would like for this project to maintain a Hill Country look.

Polly Rickert stated she would like to see vertical breaks in the architecture to soften the view.

Tim Dooley stated an awning is depicted in front of the White Elephant Saloon. He asked if it was the developers desire to connect the awnings of the two buildings. George Wilcox stated there would be a break between the two awnings, they would not be connected.

Daryl Whitworth asked if Brian Jordan was supportive of the 38 % compact car parking. Brian Jordan stated the percentage meets the City requirement.

Motion to recommend approval per staff recommendation by Jim Jarreau for Application Z-1914. Seconded by Tim Dooley. All voted in favor and the motion carried.

ACTION ITEM

Consider (SP-1914) Request by George Wilcox on behalf of Keidel Family General Partnership for a Site Plan related to a Parking Garage located in the 200 block of East Austin Street.

Motion to approve of Application SP-1914 per staff recommendation by Tim Dooley. Seconded by Chris Kaiser. All voted in favor and the motion carried.

ACTION ITEM

Consider (SP-1911) Request by Whitney Koch on behalf of Gillespie County for a Site Plan related to the Facility Maintenance building located at 95 Frederick Road.

Whitney Koch presented the application for Gillespie County. She stated they will use existing driver off of Frederick Rd and will be adding new parking facilities behind the building for staff. The site requires 38 spaces and they have provided 69.

Brian Jordan, Director of Development, stated it is the County's desire to build a new Facility Maintenance Building and this proposed project will have a total of 17,806 sq ft of building space including outbuildings and covered areas. The site has two existing points of access are provided on Frederick Road and a new driveway is proposed onto Adams Street.

Staff recommends Approval conditioned upon approval of a Landscape Plan and civil construction plans prior to issuance of a building permit.

Tim Dooley asked what happens to the existing gravel from the parking lot. Commissioner Olfers responded it is already gone as Gillespie County had soil samples performed.

Daryl Whitworth made a motion to approve Application SP-1911 per staff recommendation. Jim Jarreau seconded the motion. All voted in favor and the motion carried.

Consider (SP-1912) Request by Whitney Koch on behalf of Gillespie County for a Site Plan related to the Agrilife Building located at FM 2093 and Business Court.

Whitney Koch presented the application for Gillespie County. She stated the County has outgrown the existing agrilife building and this building would provide office space, shooting range for BB Gun shoots as well as conference space. It meets the parking requirements and has outdoor areas for pens, gardening and other Ag related items. This site will also be in full compliance with Airport requirements and they will also be utilizing the regional detention facility at the airport.

Brian Jordan, Director of Development, stated the building is positioned on the west side of the lot. A single ingress/egress is proposed on Business Court that will align with the existing drive into the Security Bank site. The site requires 98 parking spaces which they have provided.

Staff recommends Approval conditioned upon approval of a Landscape Plan and civil construction plans prior to issuance of a building permit.

Motion to approve Application SP-1912 per staff Recommendation by Jim Jarreau. Seconded by Polly Rickert. All voted in favor and the motion carried.

Consider (P-1909) Request by Kevin Spraggins for Preliminary Plat for a 111.44-acre tract located between US Hwy 87 South and Friendship Lane, Known as Friendship Oaks (formerly Heather Glen).

Brenda Segner recused herself and left the table.

Kevin Spraggins presented the application. He stated the Commission had previously approved this annexation several months back and now the project is ready for the Preliminary Plat. The private park is 1.6 acres and has a pool, cabana and a play ground area. This project will still be required to pay some Park Dedication fees. A side walk is proposed on South Creek Street and on Friendship Lane.

Brian Jordan, Director of Development, stated this development consists of 474 Single family lots, two commercial lots and three multi-family lots. This layout is very similar to what the Commission had seen previously. As part of the Annexation Agreement, a small private neighborhood park will be provided as part of phase one, and be located near the entrance to the neighborhood. In addition, a fee in the amount of \$250 (one-half the regular rate) per lot for park dedication shall be required prior to recording the Final Plat for each phase.

The project will be served by the extension of Creek Street. Internal streets will be provided to serve all of the proposed lots within the development. In addition, street extensions are proposed onto adjoining property for future connections.

Developer has provided a Traffic Impact Study (TIS) which includes the impact of the subdivision on US Highway 87 and Friendship Lane, which is based on fully developed conditions. Developer, at developer's expense, will make such improvements or alterations to US 87 South, Friendship Lane, and any other improvements as described in said TIS, as is finally approved by TXDOT and the City, including any required traffic control signals. Such improvements or alterations shall be constructed with each phase at such time as outlined in the approved TIS.

Polly Rickert said a 1.64 acre is 1.3 % of the total development, she stated that is less than minimal and believes this is not ideal. She stated while this might meet the rules, she believes the rules need to be evaluated so that stronger negotiations may take place in the future.

Tim Dooley asked what she would recommend the park percentage be. She stated 8 – 10% for park space would be ideal. Jill Tabor commented that based on other developments, Stoneridge, Crabapple Grove and Oaks of Windcrest this is the first developer that took the initiative and provided a park. Polly Rickert stated said she understood Jill's point and did not disagree with the decision, however, in the future maybe the Commission could provide better tools to City Staff to ensure better negotiations and more green space.

Councilmen Tom Musselman, stated looking at the City Master Plan, Cross Mountain, Lady Bird Johnson Park, and the Town Pool are all public spaces or parks is a public park and neighbors in the area have to cross streets to get to these areas.

Motion to approve Application P-1909 by Jim Jarreau per staff recommendation and TIA. Tim Dooley seconded the motion. Polly Rickert voted in opposition and all others voted in favor. The motion carried.

MISCELLANEOUS

Brian Jordan provided an update to the Commission regarding the current Annexation of Area 6. He provided a map of the proposed annexation area and commented this would provide ROW for many Street Projects. He stated City Council saw this area as a natural growth area and the hearings are scheduled for the September cycle. The Commission's role will be to determine the zoning.

Jim Jarreau asked what would happen to the Commercial Businesses operating in this area if it is annexed as residential. Brian stated those businesses would be allowed to continue as an accepted non conforming use.

Jill Tabor asked what happens to property owners in this area once they are in the City Limits. Brian stated in this instance they are entitled to certain services immediately and the City is responsible to provide other services within a certain time frame.

ADJOURN

With nothing further to come before the Commission, Jim Jarreau moved to adjourn. Seconded by Steve Thomas. All voted in favor and the meeting was adjourned at 6:57 p.m.

PASSED AND APPROVED this th day of September 2019.

SHELBY COLLIER, Development Coordinator

JANICE MENKING, Chairman

ZONING CHANGE BRIEF
Rezoning Request # Z-1913

APPLICANT: Chris Frishkey

LOCATION: 207 S. Bowie Street

EXISTING ZONING: R-1, Single Family Residential

PROPOSED CHANGE:

1. Change in the Land Use Plan from Low Density Residential to Medium Density Residential.
2. Change in Zoning from R-1 Single Family Residential to R-2 Mixed Residential

FINDINGS:

- The subject property consists of 1 lot, fronting on S. Bowie Street.
- The property currently contains a Short Term Rental unit and is being utilized as the residence for Mr. Frishkey.
- Prior to the Frishkey's ownership of the property, the home was remodeled creating two rentable B&B units. Two rental units are not permitted in the R-1 zoning district.
- The property is located in the Historic Overlay District.
- Utilities are available to serve this property.
- Land uses surrounding this property include primarily residential uses.
- Adjacent zoning is R-2, Mixed Residential to the north, and R-1, Single Family Residential to the west, east and south (see attached zoning map).
- The Land Use Plan identifies the subject property as Low Density Residential. Property to the north is Medium Density Residential and surrounding properties to the west, east and south are Low Density Residential.

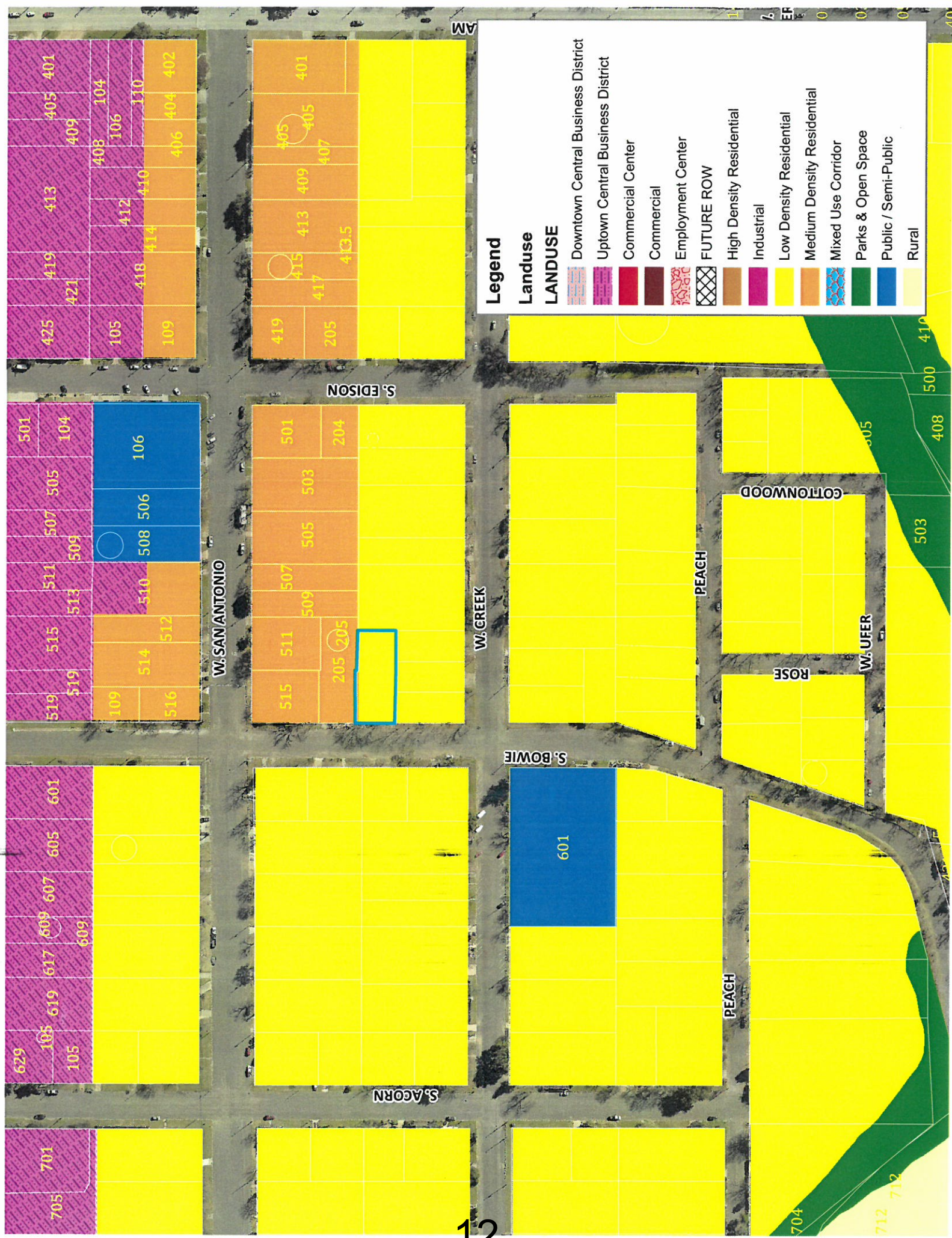
LAND USE PLAN: The Land Use Plan identifies the subject property to be Low Density Residential. As defined in the Comprehensive Plan, this use is representative of traditional, single-family detached dwelling units. Low density residential accounts for the largest percentage of residential development in Fredericksburg today and will continue to do so with the development shown on this "Future Land Use Map". The areas designated for low density residential land use are generally not adjacent to major thoroughfares or incompatible land uses, and are in proximity to existing single-family residential land use. Within these areas, the City should encourage a range of lot sizes and housing types in order to promote increased housing diversity and affordability. For this reason, several single-family zoning districts with various lot sizes should be provided in the Zoning Ordinance.

The proposed land use designation of Medium Density Residential is characterized by single family dwellings on smaller lots and attached dwelling units such as duplex units and townhomes. Medium density land uses often provide housing for “empty nesters” who may not want the maintenance of a large-lot single family home, and for young families who may find a townhome or duplex more affordable than a single family home. These residential uses can provide a buffer between lower density residential areas and more intensive residential, non-residential or mixed use areas. As you can see from the attached map of the Land Use Plan, the block between San Antonio Street and Creek Street is divided down the middle of the block, with Medium Density Residential fronting on San Antonio Street and Low Density Residential fronting on Creek.

ZONING: As stated previously in this brief, the property was remodeled to accommodate two separate B&B units, even though the zoning does not permit this to occur. The current owners were advised of this when the City starting enforcing the Short Term Rental ordinance. The R-1 zoning district allows the residence to be used as a Short Term Rental, allows rooms to be rented if the residence is the owner’s principal residence, but does not allow two rental units. While the owner is currently aware of the situation, his request is to change the zoning to R-2, Mixed Residential which is how the property to the north is zoned. In looking at the zoning map (attached), you can see that the subject property and the property to the north (205 S. Bowie) face Bowie Street. These lots were split from the original townlots that were oriented north and south and fronted on San Antonio Street and Creek Street.

OPPOSITION/SUPPORT OF REQUEST: No comments to date. Comments received after packets are produced will be provided at the meeting.

STAFF RECOMMENDATION: Under normal circumstances, a change to a single lot in an existing neighborhood would not be recommended. However, in this case, the subject lot is contiguous to the R-2 zoning to the north and would be considered an extension of this zone rather than a Spot Zoning. While the change in zoning and the Land Use Plan would seem minor and would correct the construction by the previous owner, there are other similar situations where lots adjoin the R-2 zoning that may qualify for similar requests. Therefore, changing the zoning in this circumstance could establish a precedence for this to occur elsewhere. With that in mind, we do not recommend the change requested.

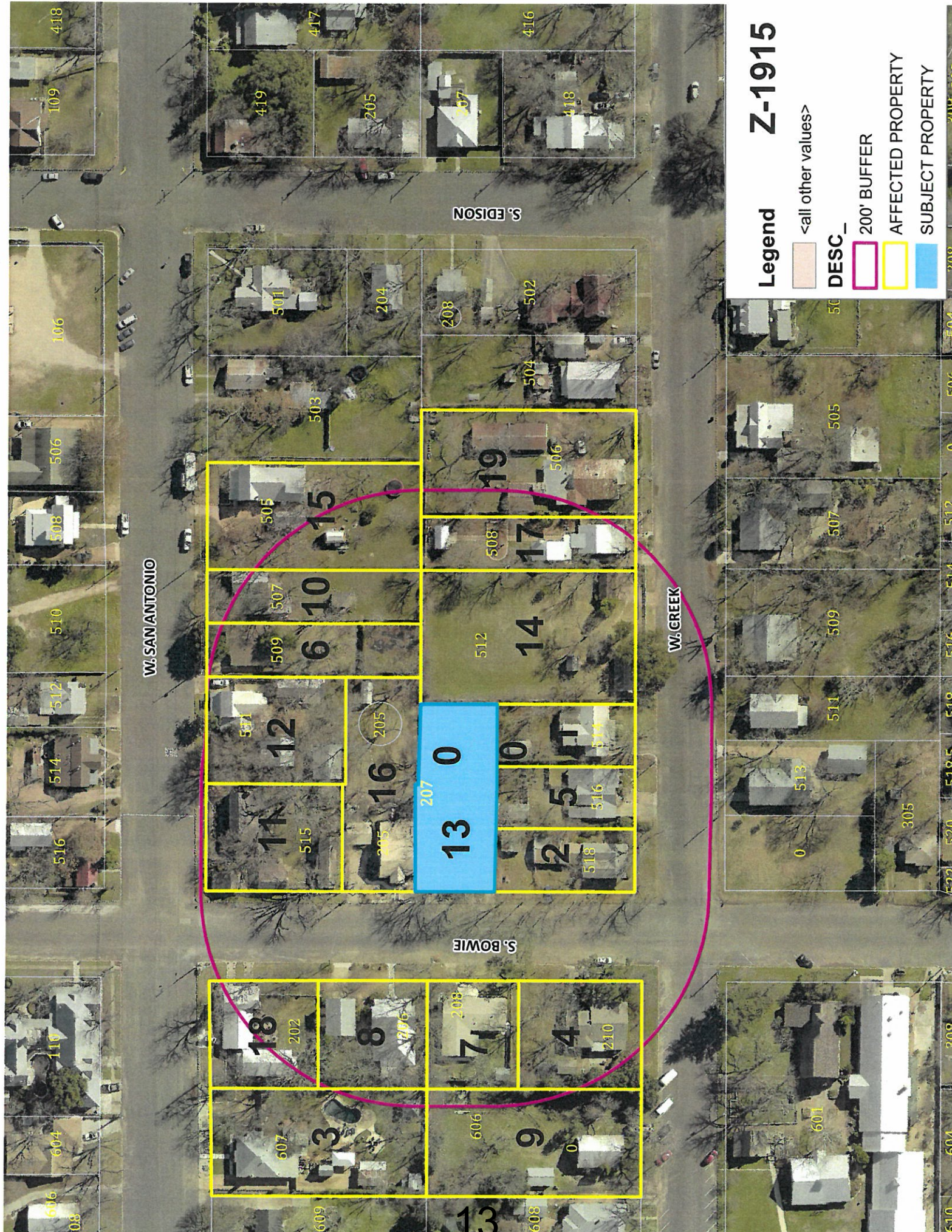


Legend

Landuse

LANDUSE

- Downtown Central Business District
- Uptown Central Business District
- Commercial Center
- Commercial
- Employment Center
- FUTURE ROW
- High Density Residential
- Industrial
- Low Density Residential
- Medium Density Residential
- Mixed Use Corridor
- Parks & Open Space
- Public / Semi-Public
- Rural



Legend Z-1915

<all other values>

DESC_

200' BUFFER

AFFECTED PROPERTY

SUBJECT PROPERTY

Letter	Owner	Address
1	JAN WENIG	4508 HANK AVE AUSTIN, TX
2	GEORGE STEWART JR	P.O. BOX 1672 FREDERICKSBURG, TX 78624
3	ADEA ENTERPRISES LLC	2747 SAN NICOLO LN LEAGUE CITY, TX 77573-2381
4	TELTOW LLC	108 GLENWOOD FREDERICKSBURG, TX 78624
5	HUMMINGBIRD OAKS LLC	167 S GRAND CRU LN FREDERICKSBURG, TX 78624
6	ANDREW & GAIL SEIDEL	2164 LIGHTSTONE FREDERICKSBURG, TX 78624
7	MARILYN TATSCH	208 S. BOWIE FREDERICKSBURG, TX 78624
8	CHRISTOPHER & SHERI DANZE	206 S. BOWIE FREDERICKSBURG, TX 78624
9	0	0
10	RDM PROPERTIES LLC	507 W. SAN ANTONIO FREDERICKSBURG, TX 78624
11	MARY MONTGOMERY	4617 S. VERSAILLES AVE DALLAS, TX 75209-6017
12	THOMAS & OLENA MANNERS FAMILY TRUST	5307 N. OSSINEKE DR SPRING, TX 77386-3793
13	CHRISTOPHER FRISHKEY	2701 RR 1323 FREDERICKSBURG, TX 78624
14	PALO ALTO PLACE LLC	400 N. PINE STE 1000 ABILENE, TX 79601-5142
15	SALLY STAUDT	505 W. SAN ANTONIO FREDERICKSBURG, TX 78624
16	GEOFFREY ROGERS	205 S. BOWIE FREDERICKSBURG, TX 78624
17	WEST CREEK PROPERTIES LLC	4550 POST OAK PLACE DR #125 HOUSTON, TX 77027-3193
18	LFP RENTAL INVESTMENTS LTD	420 E COTTER AVE PORT ARANSAS, TX 78373-5133
19	EDITH KRAUSKOPF	506 W. CREEK FREDERICKSBURG, TX 78624
Z-1915 - 207 S. BOWIE		

**SITE PLAN
BACKGROUND INFORMATION
August, 2019**

File Number:	SP 1815
Address/Location:	600 Block of E. San Antonio Street, adjacent to Baron's Creek and E. Main Street
Owner:	Buffalo Capital Partners LP
Applicant:	VEI Consulting Engineers
Project Description:	83 Room Springhill Suites by Marriott Hotel
Site Area:	Approximately 2.52 acres
Zoning:	C2 – Commercial
Setbacks:	15' – Front Setback, 0' other setbacks
Adjacent Land Uses/Zoning:	
North:	Commercial, zoned C2
West:	Restaurant, zoned C2
East:	Commercial, zoned C-2
South:	Mixed Residential, zoned R2.
Building:	17,392 square feet, with 83 guest rooms
Building Height:	3-stories, 38' (maximum allowed – 3-story)
Building Coverage:	16% (75% maximum)
Impervious Coverage:	60% (80% maximum)
Site Access:	Due to the slope and other physical constraints from Main Street, access to the site will be provided on San Antonio Street.
Parking Required:	1.1 spaces per room for the first 50 rooms, 1.0 space per room thereafter – 88 spaces required. Office – 1 space per 400 square feet. – 1space required.
Parking Provided:	90 spaces provided, including 4 handicap spaces. The site has a number of existing trees. The applicant has stated that due to the amount of fill required to level the site and the floodplain boundary adjustment, most of the existing trees will be removed. Trees to replace the

removal of trees shall be included and approved as part of a landscape plan. A Landscape Plan shall be approved prior to issuance of a building permit. Said Plan should provide the location of existing trees on site and justification on the removal of significant trees.

Screening:

No perimeter screening is required. Interior screening will be provided around trash dumpsters.

Lighting:

Exterior lighting to be ordinance compliant.

Entry Corridor Standards:

The applicant has submitted the required plans to address the City's Entry Corridor Standards and Guidelines. Staff has made a number of recommendations that the buildings architecture should reflect the Texas Hill Country aesthetic and be unique rather than a standard corporate look. Changes to the building plans are being considered and will be evaluated when received.

Utilities:

Water and sanitary sewer are available to the site from E. San Antonio Street and E. Main Street. Utilities will be subject to approval of the civil construction plans.

Detention:

Storm water detention will be addressed as part of the review of the Civil Construction Plans.

Fire Protection:

The Fire Marshall has reviewed the Site Plan and has approved the fire lane layout and the location of the fire hydrant.

Drainage:

On-site drainage will be subject to approval of the civil construction plans.

Easements:

Not applicable.

Recommendation:

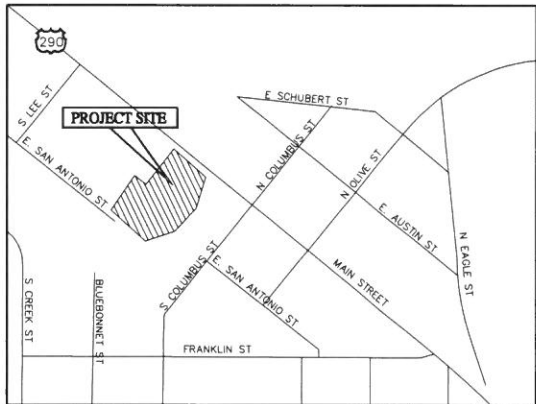
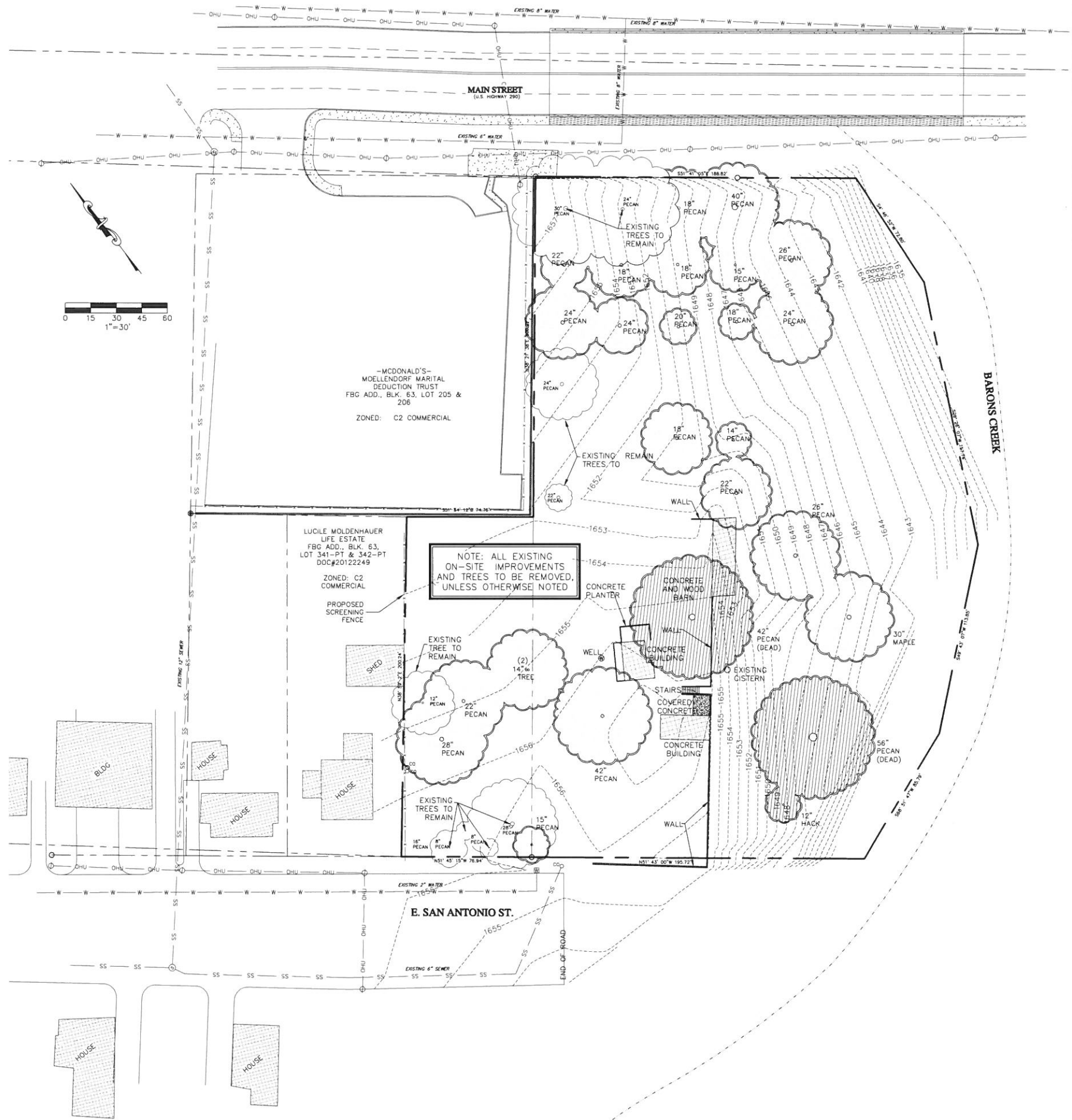
Approval, conditioned upon:

- 1) Approval of a Landscape Plan prior to issuance of a building permit.
- 2) Public Works approval of civil construction plans prior to issuance of a building permit.
- 3) Approval of a replat of the property prior to issuance of a building permit.



NOTES:

1. THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE BASED ON AVAILABLE RECORDS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY OCCUR DURING CONSTRUCTION.
2. THIS IS NOT A PROPERTY SURVEY. ANY QUESTIONS CONCERNING PROPERTY CORNERS, PROPERTY LINES, PROPERTY BOUNDARIES AND/OR SET BACKS SHOULD BE DIRECTED TO AND/OR VERIFIED BY A REGISTERED PROFESSIONAL LAND SURVEYOR.



LOCATION MAP

NOT TO SCALE

LEGEND

- EXISTING STRUCTURES
- PROPERTY BOUNDARY
- ADJACENT PROPERTY BOUNDARY
- EXISTING WATER LINE
- EXISTING SANITARY SEWER
- EXISTING OVERHEAD UTILITIES
- EXISTING CREEK CENTERLINE
- EXISTING CONCRETE CURB
- EXISTING FENCE LINE
- EXISTING RETAINING WALL
- EXISTING CONTOURS
- IRON ROD FOUND
- EXISTING UTILITY POLE
- EXISTING WATER METER
- EXISTING CLEANOUT
- EXISTING TREES TO BE REMOVED
- EXISTING DEAD TREES TO BE REMOVED
- EXISTING TO REMAIN

A
EXISTING IMPROVEMENTS REMOVAL PLAN
FOR

SPRINGHILL
SUITES
BY MARRIOTT

±0.3444 AC. & ±2.17 AC., FREDERICKSBURG ADDITION, BLOCK 63, LOT 342-PT AND UNNUMBERED LOT SOUTHEAST OF LOTS 342 & 205, GILLESPIE COUNTY, FREDERICKSBURG, TEXAS.

BUFFALO CAPITAL PARTNERS LP DEVELOPER

NOREEN SHAW (214) 669-2569
5120 WOODWAY DR., SUITE 3039
HOUSTON, TX 77056

VEI CONSULTING ENGINEERS ENGINEER

ENGINEERING CONTACT: KEVIN W. SPRAGGINS (830) 997-4744
507-D E. HIGHWAY ST. FAX: (830) 997-6967
FREDERICKSBURG, TX 78624 Texas Registration # F-165

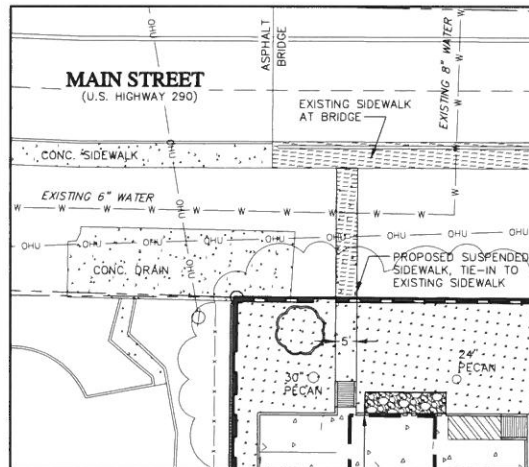
FILE NO: 18044

DATE: 08/26/2019

SHEET: ER (1 OF 4)

NOTES:

1. THIS DRAWING AND SERVICES BY VEI DO NOT INCLUDE SUBMISSION TO ARCHITECTURAL BARRIERS FOR ADA REVIEW. REVIEW, IF REQUIRED, IS BY OTHERS.
2. SIDEWALK FROM HANDICAP PARKING AREA TO BUILDING ENTRANCES MUST COMPLY WITH ALL ADA GUIDELINES.
3. THE DRAWING AND SERVICES BY VEI DO NOT INCLUDE "AS-BUILT" INSPECTIONS NOR SERVICES PAST DELIVERY OF THIS DRAWING.
4. ALL DIMENSIONS ARE MEASURED BACK TO BACK OF CURB UNLESS OTHERWISE NOTED.
5. ALL BUILDING DIMENSIONS DERIVED FROM OWNER. DUE TO THE INHERENT INACCURACY OF REPRODUCTION, DO NOT SCALE FROM THESE DRAWINGS.
6. CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH ARCHITECT AND OWNER PRIOR TO START OF CONSTRUCTION.
7. REFER TO LANDSCAPE ARCHITECT PLANS FOR LANDSCAPE AREAS.
8. THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE BASED ON AVAILABLE RECORDS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY OCCUR DURING CONSTRUCTION.
9. FIRE LANE SHALL BE MARKED PER CITY STANDARDS.
10. THIS IS NOT A PROPERTY SURVEY. ANY QUESTIONS CONCERNING PROPERTY CORNERS, PROPERTY LINES, PROPERTY BOUNDARIES AND/OR SET BACKS SHOULD BE DIRECTED TO AND/OR VERIFIED BY A REGISTERED PROFESSIONAL LAND SURVEYOR.

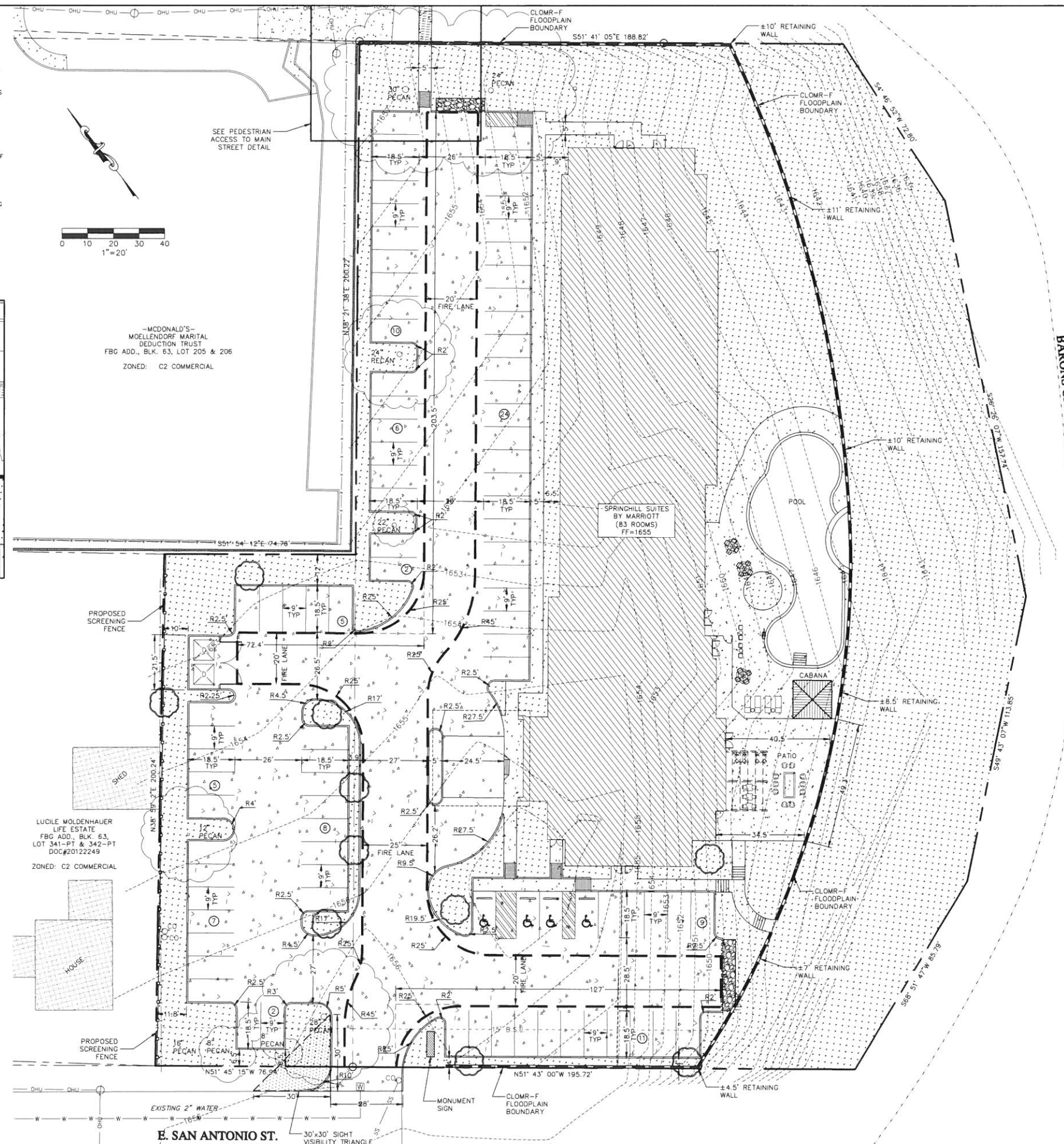


PEDESTRIAN ACCESS TO MAIN STREET

SCALE: 1" = 20'-0"

LEGEND

EXISTING	
	EXISTING STRUCTURES
	PROPERTY BOUNDARY
	ADJACENT PROPERTY BOUNDARY
	EXISTING WATER LINE
	EXISTING SANITARY SEWER
	EXISTING OVERHEAD UTILITIES
	EXISTING CREEK CENTERLINE
	EXISTING CONCRETE CURB
	BUILDING SETBACK LINE
	EXISTING FENCE LINE
	EXISTING RETAINING WALL
	EXISTING CONTOURS
	IRON ROD FOUND
	EXISTING UTILITY POLE
	EXISTING WATER METER
	EXISTING CLEANOUT
	BUILDING SETBACK LINE
	PROPOSED 4" TREES
PROPOSED	
	PROPOSED BUILDING
	PROPOSED CONCRETE PAVEMENT
	PROPOSED CONCRETE FLATWORK
	PROPOSED GRASS SEEDING
	30'x30' SIGHT VISIBILITY TRIANGLE
	PROPOSED RETAINING WALL
	PROPOSED FIRE LANE
	PROPOSED CONCRETE CURB
	PROPOSED NUMBER OF PARKING SPACES
	PROPOSED LIGHT POLE
	EXISTING TREES TO REMAIN



BARONS CREEK



LOCATION MAP

NOT TO SCALE

PARKING SUMMARY

PROPOSED FACILITIES	
NO. OF GUEST ROOMS	83 ROOMS
OFFICE SPACE	424 SQ. FT.
PARKING SPACES REQUIRED	
1ST 50 GUEST ROOMS: 1.1 SPC/ ROOM	55 SPACES
EACH ADDITIONAL GUEST ROOM: 1 SPC/ ROOM	33 SPACES
OFFICE SPACE: 1 SPC/ 400 S.F.	1 SPACE
TOTAL REQUIRED PARKING	89 SPACES
PARKING SPACES PROVIDED	
TOTAL PROPOSED PARKING	89 SPACES
REQUIRED NO. OF HANDICAP SPACES	1 VAN + 3 STANDARD
PROPOSED NO. OF HANDICAP SPACES	2 VAN + 2 STANDARD

LOT SUMMARY TABLE

LOT AREA	109,785 sq. ft. / 2.52 Ac.
CURRENT ZONING	C2 - COMMERCIAL
ZONING REQUIREMENTS	
MINIMUM LOT AREA	5,000 sq. ft.
MINIMUM LOT WIDTH	50 ft.
BUILDING SETBACKS	
MINIMUM FRONT YARD SETBACK	15 ft.
MINIMUM STREET SIDE YARD SETBACK	15 ft.
MINIMUM SIDE YARD SETBACK (INTERIOR)	0 ft.
MINIMUM REAR YARD SETBACK	0 ft.
MAXIMUM BUILDING HEIGHT	
MAXIMUM BUILDING HEIGHT	3 STORIES, 38 ft.
MAXIMUM BUILDING COVERAGE	75%
MAXIMUM IMPERVIOUS COVERAGE	80%
PROPOSED LOT COVERAGES	
PROPOSED BUILDING HEIGHT (MAX.)	3 STORIES, 38 ft.
PROPOSED BUILDING COVERAGE	18%
PROPOSED BUILDING AREA	17,392 sq. ft. / 0.40 Ac.
PROPOSED IMPERVIOUS PERCENTAGE	60%
IMPERVIOUS AREA	66,270 sq. ft. / 1.52 Ac.
PERVIOUS AREA	43,515 sq. ft. / 1.00 Ac.

A SITE PLAN FOR

SPRINGHILL SUITES BY MARRIOTT

±0.3444 AC. & ±2.17 AC, FREDERICKSBURG ADDITION, BLOACK 63, LOT 342-PT AND UNNUMBERED LOT SOUTHEAST OF LOTS 342 & 205, GILLESPIE COUNTY, FREDERICKSBURG, TEXAS.

BUFFALO CAPITAL PARTNERS LP DEVELOPER

NOREN SHAW (214) 669-2569
5120 WOODWAY DR., SUITE 3039
HOUSTON, TX 77056

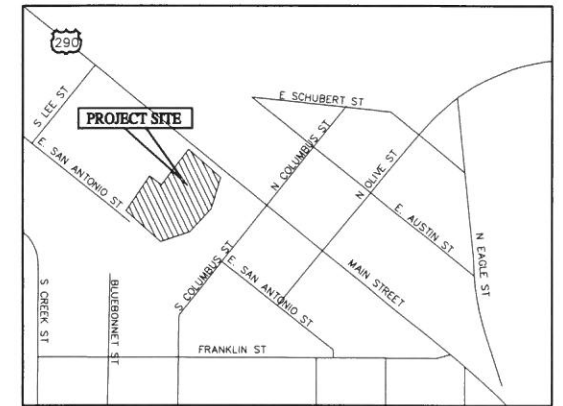
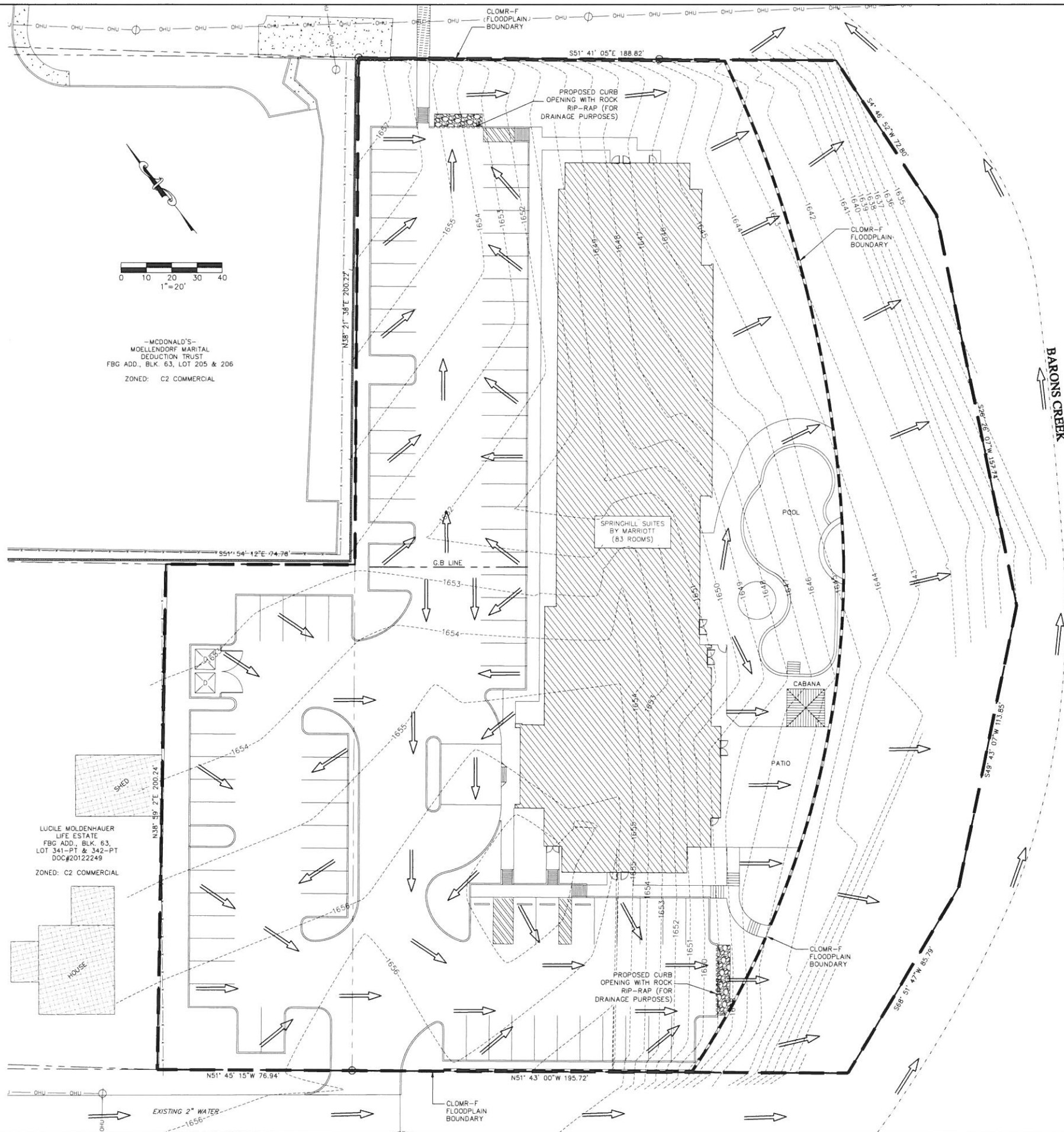
VEI CONSULTING ENGINEERS ENGINEER

ENGINEERING CONTACT: KEVIN W. SPRAGGINS (830) 997-4744
507-D E. HIGHWAY ST. FAX: (830) 997-6967
FREDERICKSBURG, TX 78624 Texas Registration # F-165

FILE NO: 18044

DATE: 08/26/2019

SHEET: SP (2 OF 4)



LOCATION MAP

NOT TO SCALE

LEGEND

- PROPERTY BOUNDARY
- ADJACENT PROPERTY BOUNDARY
- EXISTING SANITARY SEWER
- EXISTING CONCRETE CURB
- ▨ PROPOSED BUILDING
- PROPOSED CONCRETE CURB
- DRAINAGE AREA BOUNDARY
- PROPOSED DRAINAGE FLOW DIRECTION
- PROPOSED RETAINING WALL

**A
DRAINAGE PLAN
FOR**

**SPRINGHILL
SUITES
BY MARRIOTT**

±0.3444 AC. & ±2.17 AC, FREDERICKSBURG ADDITION, BLOCK 63, LOT 342-PT AND UNNUMBERED LOT SOUTHEAST OF LOTS 342 & 205, GILLESPIE COUNTY, FREDERICKSBURG, TEXAS.

BUFFALO CAPITAL PARTNERS LP DEVELOPER

NOREEN SHAW (214) 669-2569
5120 WOODWAY DR., SUITE 3039
HOUSTON, TX 77056

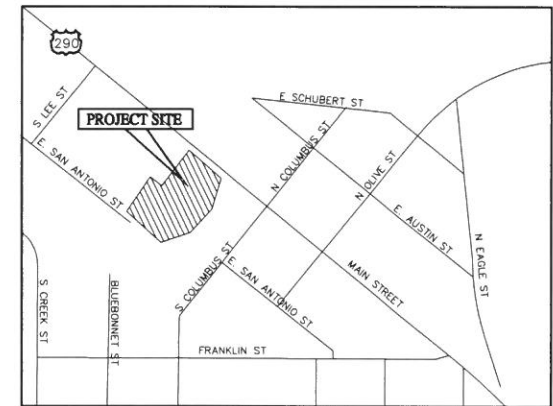
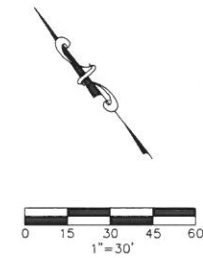
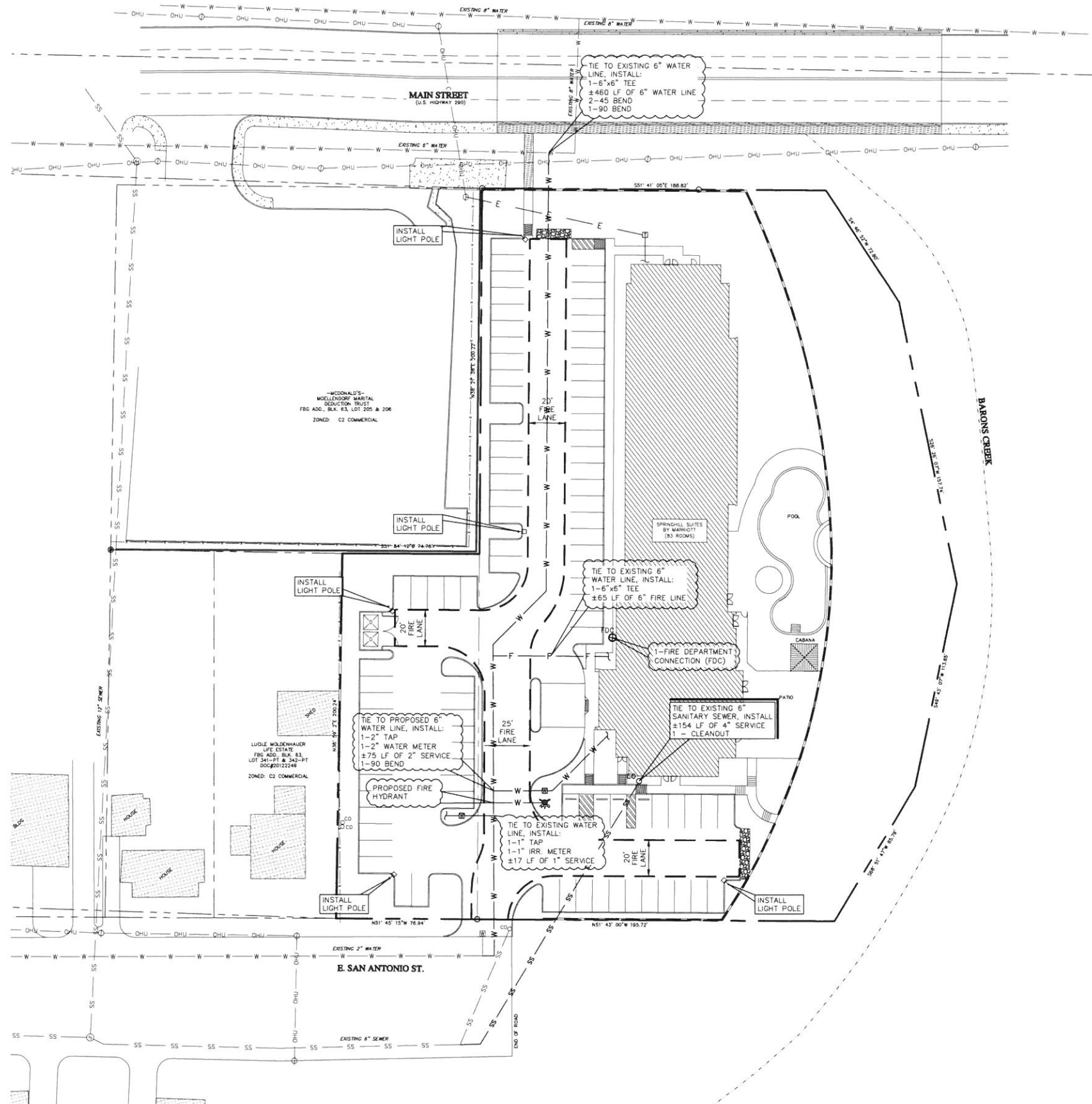
VEI CONSULTING ENGINEERS ENGINEER

ENGINEERING CONTACT: KEVIN W. SPRAGGINS (830) 997-4744
507-D E. HIGHWAY ST. FAX: (830) 997-6967
FREDERICKSBURG, TX 78624 Texas Registration # F-165

FILE NO: 18044

DATE: 08/26/2019

SHEET: DP (3 OF 4)



LOCATION MAP
NOT TO SCALE

LEGEND	
EXISTING	
	PROPERTY BOUNDARY
	ADJACENT PROPERTY BOUNDARY
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE
	EXISTING OVERHEAD UTILITIES
	EXISTING CONCRETE CURB
	EXISTING UTILITY POLE
	EXISTING WATER METER
	EXISTING MANHOLE
	EXISTING CLEANOUT
PROPOSED	
	PROPOSED BUILDING
	PROPOSED FIRE LANE
	PROPOSED CONCRETE CURB
	PROPOSED ELECTRIC LINE
	PROPOSED WATER LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED FIRE DEPARTMENT CONNECTION
	PROPOSED WATER METER
	PROPOSED CLEANOUT
	PROPOSED LIGHT POLE
	PROPOSED TRANSCEIVER

**A
UTILITY PLAN
FOR**
**SPRINGHILL
SUITES**
BY MARRIOTT
 ±0.3444 AC. & ±2.17 AC., FREDERICKSBURG ADDITION, BLOCK 63, LOT
 342-PT AND UNNUMBERED LOT SOUTHEAST OF LOTS 342 & 205,
 GILLESPIE COUNTY, FREDERICKSBURG, TEXAS.

BUFFALO CAPITAL PARTNERS LP DEVELOPER
 NOREEN SHAW (214) 669-2569
 5120 WOODWAY DR., SUITE 3039
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 507-D E. HIGHWAY ST. FAX: (830) 997-6967
 FREDERICKSBURG, TX 78624 Texas Registration # F-165

FILE NO: 18044
 DATE: 08/26/2019 SHEET: UP (4 OF 4)

PRELIMINARY



1 EAST ELEVATION
SCALE: 3/32" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

[illegible]

Springhill Suites BY Marriott
PROJECT NO: , Fredericksburg Texas
620 E. SAN ANTONIO STREET
FREDERICKSBURG, TEXAS 78624

TDCK
ARCHITECTS, INC.

5855 Sovereign Dr., Suite B Houston, TX 77036
Tel: 713 636-9970 Fax: 713 977-1311

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Project No.	Date
18041	07/30/2019

Drawing Title:

BUILDING
ELEVATIONS

Drawing Number

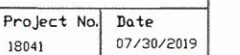
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Drawing Title:	BUILDING ELEVATIONS
Drawing Number	A211



VEI Consulting Engineers

Vordenbaum Engineering Inc. d/b/a

507 E. Highway Street, Suite D • Fredericksburg, TX 78624

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Texas • Arkansas • Oklahoma • Colorado • Louisiana • New Mexico

July 31, 2019

City of Fredericksburg, Planning & Development

126 W. Main Street

Fredericksburg, TX 78624

Re: Entry Corridor Design Guideline Narrative for a Proposed Hotel, including responses to City comments provided Dec. 17, 2018: SpringHill Suites by Marriott, E. San Antonio Street, Fredericksburg, Gillespie County, Texas
(VEI No. 18044)

DESIGN STANDARDS NARRATIVE

This narrative was developed with contributions from:

- Paul Kao, Project Architect
(Project Summary; Architectural Style, Materials, Color, and Features; Massing & Scale; Signage; Building Heights; Setbacks & Frontage; Lighting; Service Areas)
- Sultan Khowaja and Noreen Shaw, Springhill Suites Franchisee
- Kevin Spraggins, PE, Project Civil Engineer
(Landscaping; Parking & Access; Drainage & Storm Water; Streetscape)

Project Summary

We are modifying Marriott's prototypical design to conform with the unique and historic Hill Country aesthetic of Fredericksburg yet retain a modicum of design elements which will characterize the building to familiar customers as the SpringHill Suites by Marriott Hotels.

As the largest all suite upper moderate hotel brand, the SpringHill Suites targets travelers who seek comfort and quality but are delighted by hotels that offer a bit more than the expected. Guests enjoy spacious suites with separate living and sleeping areas featuring a custom designed West Elm™ sofa, free hot breakfast, and enhanced evening beverage offerings including craft beer and wine in The Market (an on-site shop).

The architecture is contemporary and current, but retains a timeless feel using stone and neutral colors. The exterior consists of materials that are of high quality, such as EIFS (exterior insulation finishing system) and Austin Cream Limestone veneer in a contextually appropriate composition. A drawing showing the exterior elevations and a Site Plan are attached for your reference.

Signature elements of the building exterior include:

- Upscale modern architecture and timeless design elements that contribute to the high-quality image that defines the brand.
- A glass entrance connects the indoors and outdoors while providing an inviting view of the lobby.
- A warm color palette contributes to the building's fresh, clean appearance. Color and material options also respond to local context.
- Specialty lighting highlights the signature building features and serves as a beacon after dark while still supporting Fredericksburg's Dark Sky Designation.

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0. Specific Project Concerns

- 0.1 – A statement describing the nature and operating characteristics of the proposed use, including any data pertinent to the finding required for approval of the application.
- 0.2 – Specific information on the anticipated peak loads and peak use periods relative to industrial standards or substantiating the adequacy of proposed parking, loading, and circulation facilities.
- 0.3 – Compatibility with existing or permitted uses on abutting sites, in terms of building height, bulk, and scale, setbacks and open spaces, landscaping and site development access and circulation features.
- 0.4 – Information on potentially unfavorable affects or impacts on abutting sites, to the extent such impacts exceed those which reasonably may result from use of the site for a permitted use.
- 0.5 – Modifications to the site plan which would result in increased compatibility and/or would mitigate potentially unfavorable impacts, and/or would be necessary to conform to applicable regulations and standards and would protect the public health, safety, morals, and general welfare (e.g., odors, noise, trash, lighting, etc.).
- 0.6 – Protection from erosion, flood, or water damage, fire, noise, glare, and similar hazards and impacts.

- 0.1 An upscale, boutique hotel with hours of operation of 24 hours a day and 7 days a week.
- 0.2 The proposed design and site layout will conform to these guidelines and standards.
- 0.3 Please see section 13, Drainage & Stormwater
- 0.4 The subject tract is located on E. Main Street/E. Hwy. 290. A portion of the subject tract is adjacent to commercial development. A portion of the subject tract is adjacent to a residence and screening will be provided to reduce impact of the proposed development.
- 0.5 Not applicable at this time.
- 0.6 Please see section 13, Drainage & Stormwater, in this document.

1. Architectural Style

EXCERPT FROM ENTRY CORRIDOR DESIGN STANDARDS:

Applicability

- 1.0 – Architectural Styles Design Standards apply to all redevelopment in the entry corridors.

Standards

- 1.1 – Adhere to the Historic District Guidelines when rehabilitating designated historic landmark buildings or potential historic buildings.
- 1.2 – The architectural style of the entry corridor should be reflective of the Texas Hill Country aesthetic.

Guideline

- 1.3 – New designs should be compatible with the design traditions of the established neighborhoods and regional Texas Hill Country aesthetic. It is not the intent of these guidelines to require that new buildings copy older building styles. Therefore, use traditional building forms and broader similarities of design in order to be compatible with existing buildings in the area that reflect the traditional context.
- 1.4 – The use of standardized “corporate” architectural designs associated with chain or franchise buildings (prevalent with restaurants, service stations and retail stores) is strongly discouraged and alternative designs consistent with this design manual may be required.

- 1.0 This project is in an entry corridor.
- 1.1 Not applicable. The site is no longer being considered for placement in the Historic District.
- 1.2 The architectural style of the building utilizes Texas limestone, as well as beige, tan and brown EIFS wall materials to reflect the Texas Hill Country aesthetic.
- 1.3 The primary building material facing Main Street is cream limestone, in keeping with the surrounding buildings. The Texas Hill Country aesthetic, blended with touches of a clean, comfortable modernism, will be carried throughout the design.
- 1.4 Revisions to the SpringHill design features have been made to make it more compatible with the Entry Corridor Design Standards and to better reflect the local aesthetic, including color and finishes as detailed in this document.

2. Architectural Materials

EXCERPT FROM ENTRY CORRIDOR DESIGN STANDARDS:

Applicability

2.0 – Architectural Materials Design Standards apply to all redevelopment in the entry corridors.

Standards

- 2.1 – Buildings shall employ authentic, textured materials, compatible with the traditional Hill Country aesthetic. Highly reflective materials are unacceptable, because of their tendency to create uncomfortable glare conditions
- 2.2 – Abide by Historic District Guidelines for preserving historic buildings.
- 2.3 – Use original materials, retain and preserve significant architectural features, ensure the maintenance of the building's historical character. (per Historic Design Guidelines).
- 2.4 – Do not create a false sense of era or appearance with replacement of metal details or features that are not based upon any historical evidence (per Historic Design Guidelines).

Guidelines

- 2.5 – Select materials native to the Hill Country, such as cedar, limestone and brown sandstone.
- 2.6 – New developments should choose materials that offer texture and avoid monotonous faces to add visual interest and reduce its apparent scale.

- 2.1 The proposed architectural materials and surfaces will meet the specifications described in the standard. No highly reflective materials will be used, and the Hill Country aesthetic will be smoothly incorporated with touches of a clean and comfortable modernism.
- 2.2 Not applicable. The site is no longer being considered for placement in the Historic District.
- 2.3 Not applicable.
- 2.4 Not applicable.
- 2.5 The building exterior is nine-foot high, Austin Cream Limestone veneer at the ground floor level. Beige/tan EIFS finished walls at the second and third floors. There will be a brown accent EIFS band at the main entrance. The aluminum windows, parapet coping and all miscellaneous metals are medium white.
- 2.6 The materials, textures, and elevations will add visual interest to the building, reducing the apparent scale and preventing a monolithic appearance.

3. Architectural Color

EXCERPT FROM ENTRY CORRIDOR DESIGN STANDARDS:

Applicability

3.0 – Architectural Colors Design Standards apply to all redevelopment in the entry corridors.

Standards

- 3.1 – Choose colors used traditionally in Fredericksburg such as muted shades of greens, blues, and tans (Historic Design Guidelines).
- 3.2 – Use color to coordinate façade elements in an overall composition and tie all of the building elements together.
- 3.3 – Reserve bright colors for accents only. Limit the use of bright colors to no more than 15 percent of the overall exterior building façade.

Guidelines

- 3.4 – Predominant building colors should be of earth tones but may be accented with brighter colors to provide color variation, punctuation, and eclecticism unique to Fredericksburg.

- 3.1 The primary material colors on the building are Beige/Tan EIFS and Cream Austin Limestone.
- 3.2 There will be a cohesive look to the colors, finishes, and textures used throughout the site, tying all of the site's elements together.
- 3.3 The color scheme is neutral. A dark brown accent color will be less than 15% of the overall exterior building façade.
- 3.4 The primary material colors on the building are beige/tan EIFS and Cream Austin Limestone.

4. Architectural Features

EXCERPT FROM ENTRY CORRIDOR DESIGN STANDARDS:

Applicability

4.0 – Architectural Features Design Standards apply to all redevelopment in the entry corridors.

Standards

4.1 – Blank or featureless walls will not be approved along parks, plazas, entry corridors or side streets.

4.2 – Design buildings with a “human scale” by using architectural enhancements. The building facade facing the parks, plazas, entry corridors or side streets shall have visible, clearly defined customer entrances that include at least three of the following elements: canopies or porticos, overhangs, recesses or projections, arcades, raised cornice parapets over the entrance door, distinctive roof forms, arches, outdoor patios or plazas, display windows, or integral planters.

4.3 – Use original materials, retain and preserve significant architectural features, ensure the maintenance of the building's historical character. (Historic Design Guidelines)

4.4 – Windows and doors shall be equally spaced and provide rhythm along the façade of the building.

4.5 – With exception of historic or potential historic landmarks, at least 40 percent of the ground floor façade facing parks, plazas, entry corridors or side streets shall be constructed of clear and non-tinted windows.

4.6 – For any multi-tenant commercial development, a covered arcade/structural canopy shall be provided along the front facade of the building. Arcades are covered walkways connected to the principal building. They should be a minimum of five feet in width and designed to provide covered areas for relief from the weather. Different arcade/structural canopy designs may be used for each individual tenant/business within a multi-tenant commercial development provided that they blend aesthetically with the front facade of the building.

Guidelines

4.7 – Choose features that fit the scale of the building and its surroundings.

4.8 – If a shed roof or flat roof design is used, add a parapet wall to screen the roof.

- 4.1 There are no blank or featureless walls on this project.
- 4.2 The primary building material facing Main Street is cream limestone, in keeping with the surrounding buildings. The Texas Hill Country aesthetic, blended with touches of clean, comfortable modernism, will be carried throughout the design. This design features a central tower and elevations that draw the eye to human scale items such as a porte cochère supported by limestone columns, pedestrian walkways, benches, and a bridge crossing the creek.
- 4.3 This is a new construction project; there are no materials to re-use. If possible, materials from the small structures currently on the site may be re-used in a way that highlights their origin.
- 4.4 Windows and doors are equally spaced along the north, east, and west façades providing a rhythmic effect and reducing the potential “monolithic” effect of the building.
- 4.5 The main public entrance facing west has 40% glazing including a wide sliding glass door.
- 4.6 This is a single tenant commercial project; thus, this section does not apply.
- 4.7 The one-story single-family houses are on San Antonio Street and aren’t visible from the Entry Corridor and are, presumably, not subject to the guidelines. The proposed building’s 38-ft high Main Street elevation is more than 170-feet away from the neighboring restaurant to the west. There are no neighbors to the east on Main Street and Natural Grocers is across Main Street. The proposed building fits the scale of the buildings visible from Main Street.
- 4.8 A screening parapet that is about 4-ft tall is provided on all sides of the roof.

5. Massing & Scale

EXCERPT FROM ENTRY CORRIDOR DESIGN STANDARDS:

Applicability

5.0 – Massing and Scale Design Standards apply to all redevelopment in the entry corridors except for single family residential.

Standards

5.1 – Break up the front of large retail buildings by dividing it into individual bays 25 to 40 feet wide.

5.2 – Use variation in materials, textures, patterns, colors, and details to break down the mass and scale of a building

5.3 – Building mass shall be used that is appropriate to the site. Buildings of the greatest footprint shall be located towards the center of a development where the impact on adjacent uses is the least.

5.4 – Each building shall have sufficient facade relief and interruption every 30 feet so as to provide visual architectural interest.

Guidelines

5.5 – When making transitions to lower density areas, modulate the mass of the building to relate to smaller buildings.

5.6 – Faux windows and similar details are not appropriate articulation.

5.7 – Buildings are encouraged to be contiguously arranged along the street face, and large breaks between buildings in identified development sites should be avoided.

- 5.1 The building is 280-ft at the widest point and is 33-ft. wide at the main public entrance facing west. Building elevations and footprint are attached and show how the sides of the building are broken-up by different finishes and features.
- 5.2 The building's mass and scale are broken down by footprint articulation and façade material juxtapositions.
- 5.3 As per the City's request, the building is located closer to Main Street than the center of the tract, as feasible.
- 5.4 Façade relief and articulation provided by building projection and color variation is provided at 30-ft vertical and horizontal intervals.
- 5.5 The building height is an average 38-ft tall parapet with a flat roof accent tower at main entrance that is 41-ft., 6-in. tall.
- 5.6 There are no faux materials or architectural features utilized in this design.
- 5.7 There is no other building on this property except the service enclosure, which design will emulate the hotel and comply with guidelines and standards.

6. Signage

EXCERPT FROM ENTRY CORRIDOR DESIGN STANDARDS:

Applicability

6.0 – Signage Design Standards apply to all redevelopment in the entry corridors.

Standards

6.1 – A landscaped base area shall be provided for monument or ground signs appropriate to the mass and height of the sign. All areas within 5 feet of the base of any sign shall be landscaped. The landscaped area may include trees, shrubs, flowering perennials, ornamental tall grass, fountains, water features, decorative stonework, planters, sculpture, and decorative paving.

Guidelines

6.2 – A minimal number of colors should be used per sign where possible. Bright colors should be reserved for accent only.

6.3 – Integrate signs into building and site design so they do not appear as an afterthought.

6.4 – Attached signs should be located above the building entrance, storefront opening, or at other locations that are compatible with the architectural features of the building.

- 6.1 Landscaping will be designed to meet the criteria of this subsection. A Landscape Plan will be provided for the City's review and approval during the Construction Document review process.

- 6.2 The SpringHill Suites by Marriott signage logo is copyrighted and tastefully designed. The signage logo is subdued in the use of color. The hotel signages are less than 15% on each side of the building.
- 6.3 It is our intention to locate the monument sign and three building signs in as effective a manner as possible to advertise the business.
- 6.4 The main building sign is about 70 sq.ft. will be mounted below 41-ft main tower. Two other building signs, each with an area of 50-sq.ft., are proposed to be mounted below the 38-ft tall parapet on the north and west walls. Their locations are compatible with, and integrated into, the overall design. All signs will comply with the City of Fredericksburg's Signage ordinances

7. Building Height

EXCERPT FROM ENTRY CORRIDOR DESIGN STANDARDS:

Applicability

7.0 – Building Height Design Standards apply to all redevelopment in the entry corridors

Standards

7.1 – Use existing height standards from the Zoning Ordinance.

Guidelines

7.2 – Work with the existing streetscape and define heights that are appropriate to create a welcoming environment and consistency.

7.3 – Use building height to define neighborhood and district edges, and to provide a "human scale."

7.4 – Floor to floor heights of a building can have an impact on the mass of the building. Typical ceilings in a residence are 8-9 feet. First floors of office buildings or retail shops can range from 10-15 feet. Upper floors that include residential or office are generally 8-12 feet in height. Actual or implied floor-to-floor heights above 15-20 feet on the exterior should be avoided, as a building may begin to lose its "human scale" appearance.

- 7.1 The building height is three-stories, 38-ft, and meets the Zoning Ordinance.
- 7.2 Noted. The design of the streetscape will create a welcoming environment.
- 7.3 The building's Main Street elevation will adhere to the City's ordinances and, using steps, walkways, railings, seating areas, fixtures, and other features visible from Main Street to enhance the human-scale of the proposed hotel and its grounds.
- 7.4 The building height is an average 38-ft tall, with a 66-ft, 10-in-wide flat-roofed accent tower that is 41-ft, 6-in tall. At the ground floor, the floor to floor height is 13-ft, 6-in, with a ceiling height of 10-ft, 6-in. On the second and third floor the floor to floor height is 10-ft, 2-in, with a ceiling height of 8-ft, 4-in. Please reference the attached architectural elevations for more information.

8. Setbacks & Frontage

EXCERPT FROM ENTRY CORRIDOR DESIGN STANDARDS:

Applicability

8.0 – Setback Design Standards apply to all redevelopment in the entry corridors except for single family residential.

Standards

8.1 – Doors and entryways shall be constructed facing the entry corridor and any side streets. Secondary entrances may be constructed to allow convenient access from secondary streets, adjacent buildings, sidewalks or parking.

Guidelines

8.2 – The front door should connect to the sidewalk along the entry corridor.

8.3 – In areas adjacent to or near the Historic District, new buildings should match adjacent building setback in order to preserve the Historic District character and to encourage walkability.

8.4 – A contiguous building arrangement without large breaks between buildings along the street face is encouraged.

- 8.1 Noted. The front door is connected to the sidewalk along the entry corridor

- 8.2 The front door is connected to the sidewalk along the entry corridor.
- 8.3 Not applicable.
- 8.4 Noted.

9. Landscaping

EXCERPT FROM ENTRY CORRIDOR DESIGN STANDARDS:

Applicability

9.0 – Landscaping Design Standards apply to all redevelopment in the entry corridors.

Standards

9.1 – Landscaping, including planting and trees, shall be provided as a buffer between the street and parking area.

Guidelines

- 9.2 – To create a cohesive tree canopy that provides for consistent shade, street trees should be planted a minimum of every 50 feet on center (centered between the curb and sidewalk). The same amount of trees may also be clustered in groups.
- 9.3 – Native, drought tolerant and adapted landscape species should be used to the greatest extent possible.
- 9.4 – A minimum of 50 percent of the plant species should be selected from the approved plant list.
- 9.5 – Minimize impervious coverage to reduce the need for energy and water consumption.
- 9.6 – Utilize parks, open spaces and natural areas as buffers between incompatible uses or as a means of maintaining natural viewsheds.
- 9.7 – Planting is preferable to turf within the right-of-way, including spaces between sidewalks and the street. Landscaping between the curb and sidewalk should be no taller than 24 inches tall and trees should be limbed up 7.5 feet above the sidewalk in the sight distance triangle.
- 9.8 – Every effort should be made to protect underground utilities such as water, sewer, phone and cable from tree or plant roots.
- 9.9 – Restoration of natural areas is strongly encouraged during new development and, to the extent possible, redevelopment.
- 9.10 – Wherever possible, parks should take advantage of existing mature vegetation by preserving it and incorporating it as a feature of the park to maximize use of shaded areas.
- 9.11 – Minimize grading and preserve existing vegetation whenever possible.
- 9.12 – Landscapes should be irrigated to establish planting and provide the correct water levels to support the long-term growth of landscape. Irrigation systems should use efficient water methods, group planting by similar watering needs, and use moisture sensors to control the use of water.
- 9.13 – Root barriers should be used in planting areas between the sidewalk and street which are less than 10 feet in width.

- 9.1 New landscaping will be installed to create the requested buffer between parking and the street.
- 9.2 The landscaping design will implement this guideline.
- 9.3 Native drought resistant species have been selected for most of the landscaped areas.
- 9.4 Most species will be selected from the approved list.
- 9.5 Impervious coverage has been minimized to 62%.
- 9.6 The landscaping design will implement this guideline.
- 9.7 Plantings and a conservative amount of turf will be utilized. Plants will conform with height and sight triangle requirements.
- 9.8 Coordination with subsurface utilities location and tree planting were considered during the design.
- 9.9 Noted.
- 9.10 Mature vegetation will remain on the site where possible.
- 9.11 Changes to the grading and an addition of a retaining wall are proposed along the creek; this grading/fill and wall are the subject of the recent CLOMR-F for the tract. Existing, mature vegetation will be used whenever possible.
- 9.12 Efficient irrigation plans will be used.
- 9.13 Root barriers will be implemented in sidewalk areas.

10. Lighting

EXCERPT FROM ENTRY CORRIDOR DESIGN STANDARDS:

Applicability

10.0 – Architectural Lighting Design Standards apply to all redevelopment in the entry corridors. Please also refer to ordinance 24-014

Standards

10.1 – Lighting fixtures should be selected from the International Dark-Sky Association Approved Fixtures.

Guidelines

- 10.2 – Lighting should be used to provide illumination for the security and safety of on-site areas such as parking, loading/unloading, pedestrian pathways and working areas. Excessive use of lighting fixtures is prohibited.
- 10.3 – Fixture style and location should be compatible with the building's architecture, site design and landscape design. Decorative fixtures are highly recommended and where warranted, may be required. Light fixture style should be consistent throughout the project.
- 10.4 – Light fixtures should be located facing away from adjacent sites (particularly residential parcels) so that the light does not spill-over onto abutting properties. Parking and building light fixtures should be cut-off luminaires that have less than 90-degree cut-off so that the light is not emitted horizontally or upward.
- 10.5 – Projects located near residential or open space areas should use low intensity/wattage lights and all lighting is to be extinguished or reduced in intensity 30 minutes after the close of business.
- 10.6 – Off-site street lighting may be required over driveways to provide safe entrances and exits.
- 10.7 – Decorative seasonal lighting encouraged.

- 10.1 All lighting will be Dark-Sky compliant. Downlights will be mounted under canopies.
- 10.2 A minimal number of fixtures are utilized to light the site beyond the pathways and parking.
- 10.3 Light fixtures have been chosen to blend with the architectural style of the building.
- 10.4 Light fixture selection and design meet these guidelines.
- 10.5 The project will implement a "night" setting that will be activated at night.
- 10.6 Noted.
- 10.7 Noted.

11. Service Areas

EXCERPT FROM ENTRY CORRIDOR DESIGN STANDARDS:

Applicability

11.0 – Service Areas Design Standards apply to all redevelopment in the entry corridors.

Standards

11.1 – Loading/unloading areas shall be clearly identified by installing no parking signs and/ or striping of the space. The areas must be located in the rear or the sides of the building and shielded so that they are not visible from the street. The size and number of the loading/ unloading areas must be consistent with the requirements of the Zoning Ordinance.

Guidelines

- 11.2 – All trash, recycling and utilities facilities should be visually and acoustically screened from pedestrian rights of way.
- 11.3 – Screening should be achieved through the installation of a wall or fence six foot in height or a height sufficient to obscure the area or equipment, whichever is less.
- 11.4 – Screening may be provided by using a semi-opaque fence, solid vegetative surface or combination of both.
- 11.5 – The height of screening plants should be based on typical plant size within five growing seasons.
- 11.6 – All roof-top equipment should be screened from entry corridors, side streets, plazas and parks.
- 11.7 – It is encouraged to provide a separate waste and recycling unit to encourage environmental sustainability and support efforts to reduce, reuse, and recycle in Fredericksburg. The City of Fredericksburg Recycling Center provides recycling and safe disposal options. Fredericksburg Shines has compiled a list of items that can be recycled along with the location where that recycling occurs.

- 11.1 The south façade provides the service entrance/exit for product deliveries which occur at normal business hours to minimize disturbance during nighttime. Electrical service enters the building at the southwest corner. The trash enclosure is designed to match the building's image and is located away from neighbors.
- 11.2 The service area is screened visually and acoustically from pedestrian rights of way and is placed away from neighbors.



- 11.3 A trash enclosure/service area is included in the project's design and moved away from neighbors.
- 11.4 Noted.
- 11.5 Noted.
- 11.6 A roof access ladder and roof hatch is provided at the third-floor storage room for serving the rooftop HVAC equipment. The equipment is hidden from entry corridors, side streets, etc., by a 4-ft high parapet wall on the roof.
- 11.7 Noted.

12. Parking & Access

EXCERPT FROM ENTRY CORRIDOR DESIGN STANDARDS:

Applicability

- 12.0 – Parking Design Standards apply to all new development in the entry corridors.

Standards

- 12.1 – When a property abuts a creek, a 10-foot landscaped buffer shall be provided between the parking lot and the creek, where applicable. Utilize rain gardens and/or plant species that filter toxins between the parking lot and the creek.
- 12.2 – All parking shall comply with the most current American with Disabilities Act (ADA) standards and regulations.
- 12.3 – Whenever parking areas/drive aisles are connected to adjacent sites; the circulation must provide for similar direction of travel (both vehicular and pedestrian) and parking stalls to reduce conflict at points of connection.
- 12.4 – Pedestrian walkways connecting to adjacent development shall be provided.
- 12.5 – A minimum of a 4" diameter tree per 8 parking spaces shall be planted in planting beds located in the corners of parking lots and 'islands.'
- 12.6 – Continuous, 5' sidewalks must be provided along the full length of the building featuring customer entrances and along any façade facing public parking areas.

Guidelines

- 12.7 – Parking should be located behind buildings or on the side.
- 12.8 – Bicycle parking facilities should be provided at all new development that occurs on any street intersection. The design, color, and materials must coordinate with other site elements and must be well-lit for night time uses.
- 12.9 – Parking areas abutting properties residentially used or designated should be separated by a landscape buffer a minimum of 10 feet in width. In addition to landscaping, perimeter earth berms are recommended as an effective way to reduce the visual impact of surface parking lots.
- 12.10 – At least one drive aisle should be designed to provide sufficient emergency vehicle access and maneuverability.
- 12.11 – Establishments that typically require or generate frequent passenger loading and unloading should provide specifically designated loading/unloading stopping bays. Direct ingress and egress should be provided so that vehicles are not directed into the on-site drive aisles.
- 12.12 – Parking lots should be located and designed with storm water Best Management Practices to capture, treat and infiltrate storm water.
- 12.13 – The on-site circulation should be logical and provide convenient, safe and direct flow of pedestrians and vehicles.
- 12.14 – New surface parking areas are discouraged within view of US 290, US 87, SH 16, and FM 965. New parking areas should be situated behind buildings and screened from street views.
- 12.15 – Parking aisles should be arranged to direct pedestrians parallel to moving cars thereby minimizing the need for pedestrians to cross parking aisles and landscape areas. As an alternative, separated pedestrian walkways should be incorporated in the parking lot design.
- 12.16 – Detached parking structures should be architecturally compatible with their setting or be screened by other buildings or by landscaping. If a detached parking structure abuts a street or major pedestrian path, ground floor design should incorporate a façade with storefronts, display windows, bay divisions, and other pedestrian oriented features.
- 12.17 – Shared driveways are encouraged.

- 12.1 Barons Creek is adjacent to the site (east) and required buffer has been provided. Other elements will comply to this guideline.
- 12.2 All parking will comply with current ADA guidelines.
- 12.3 Access to the proposed hotel will be on E. San Antonio Street. Neighboring development on E. San Antonio is residential and not suitable for a drive aisle. There is no adjacent development to the east due to the creek and the dead-end of E. San Antonio.
- 12.4 Pedestrian walkways will be provided connecting adjacent pedestrian access.
- 12.5 Trees have been added to the Site Plan and the parking and landscape designs comply with the City's guidelines.

- 12.6 The building has conforming sidewalks and plaza areas around all entry and parking.
- 12.7 The parking design complies with this guideline.
- 12.8 The parking design complies with this guideline.
- 12.9 The parking design complies with this guideline and provides a 10-ft landscape buffer and 8-ft tall wood privacy fence between the proposed hotel and the neighboring single-family residence.
- 12.10 The parking design complies with this guideline.
- 12.11 Noted.
- 12.12 The parking design complies with this guideline.
- 12.13 Noted.
- 12.14 The building has been moved toward Main Street.
- 12.15 Noted.
- 12.16 This project does not use detached parking structures.
- 12.17 No shared driveways will be utilized.

13. Drainage & Stormwater

EXCERPT FROM ENTRY CORRIDOR DESIGN STANDARDS:

Applicability

- 13.0 – Drainage and Stormwater Design Standards apply to all redevelopment in the entry corridors. All designs should be compliant with current standards and requirements for stormwater detention, Code of Ordinances, Article XIII.

Guidelines

- 13.1 – LID techniques such as rain barrels, cisterns, raingardens, naturalized landscaping, porous pavement, and roof gardens are encouraged.
- 13.2 – When possible, site stormwater management facilities in parks and open space if there is a benefit to the surrounding area and/or water quality is demonstrated.
- 13.3 – Existing drainage patterns and flows on site should be preserved to the greatest extent possible.
- 13.4 – Decorative or aesthetically pleasing stormwater mechanisms should be incorporated into stormwater designs to the greatest extent possible.

- 13.0 Stormwater detention is not being designed for the site. Stormwater runoff will be directed to the adjacent creek.
- 13.1 Noted. The Landscape Plan will show the use of one or more of these features.
- 13.2 Noted.
- 13.3 Existing drainage patterns and flows on the site are preserved to the greatest extent possible.
- 13.4 Noted.

14. Streetscape

EXCERPT FROM ENTRY CORRIDOR DESIGN STANDARDS:

Applicability

14.0 – Streetscape Design Standards apply to all redevelopment in the entry corridors.

Standards

14.1 – Sidewalks along the street right of way must be a minimum of 5 feet wide.

Guidelines

14.2 – Sidewalks and pedestrian pathways should safely connect from the street to commercial buildings, surrounding residential areas, and parks and open spaces.

14.3 – Seating is encouraged in front of businesses, in public spaces and other instances where appropriate.

14.4 – All pedestrian areas should comply with the most current American with Disabilities Act (ADA) standards and regulations. Particular attention should be given to ramps, accessible paths of travel, level landings and handrails.

14.5 – Create a quality-built environment with the inclusion of amenities such as street furnishing, plantings, art works, and water features to enhance the places that people will walk, gather, or recreate.

14.6 – Developments adjacent to multi-use trails should provide a direct connection from the trail to the development's internal pedestrian circulation system.

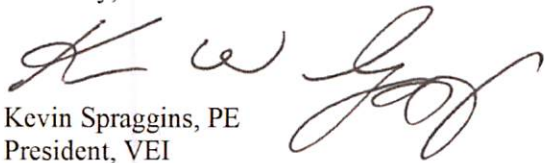
14.7 – Streetscape furnishing should be made of high-quality materials and be coordinated with the architecture of the building.

14.8 – To create a cohesive tree canopy for consistent shade, street trees should be planted a minimum of every 50 feet on center (centered between the curb and sidewalk). The same amount of trees may also be clustered in groups.

- 14.1 Sidewalks on the site will conform with this requirement.
- 14.2 Sidewalks and pedestrian pathways safely connect from the street to the building and other areas of the facility.
- 14.3 There will be an outdoor seating area at the rear (east) of the building, and limited bench seating at the front (west) of the building.
- 14.4 All pedestrian areas will comply with the current ADA and Texas Accessibility Standards.
- 14.5 The streetscape design will comply with this guideline.
- 14.6 Not applicable.
- 14.7 The streetscape design will comply with this guideline.
- 14.8 The streetscape design will comply with this guideline.

If you have any further questions, please feel free to contact me at your convenience. I can be reached at the information on page 1 of this letter or at kspraggins@vei-tx.com.

Sincerely,


Kevin Spraggins, PE
President, VEI

**SITE PLAN
BACKGROUND INFORMATION
August, 2019**

File Number:	SP 1916
Address/Location:	200 Block of S. Adams Street, or the corner of Adams Street and Creek Street (formerly Peach Tree Restaurant)
Owner:	Texas Food and Wine Hunter, LLC
Applicant:	Jesse Barter, President
Project Description:	Updating the existing restaurant and converting the existing historic building into a retail and coffee shop.
Site Area:	Approximately 1.07 acres
Zoning:	CBD – Central Business District
Setbacks:	0’- all sides
Adjacent Land Uses/Zoning:	
North:	Commercial, zoned CBD
West:	Residential, zoned CBD
East:	Commercial, zoned CBD
South:	Office, zoned CBD.
Building:	Existing buildings to remain with major renovations to the kitchen and restaurant. The existing apartment building to the rear of the residence will be converted to an outdoor patio.
Building Height:	1-story, (maximum allowed – 3-story)
Building Coverage:	No information provided (75% maximum)
Impervious Coverage:	60% (90% maximum)
Site Access:	The existing drive on S. Adams Street will remain.
Parking Required:	1 space 4 persons in the dining room of the restaurant – 23 spaces required. Historic Buildings – exempt from parking There are currently sufficient parking spaces located on site to accommodate the historic buildings and the proposed restaurant. The use of the proposed outdoor covered patio is still being determined at this time.

Under the current plan, this space will be used as an area to support the proposed restaurant as an outdoor waiting area. As such, it does not require parking. Should the use be converted to an outdoor activity, event or dining area, additional parking will be required. The applicant is aware of this and has been working on plans for off-site parking.

Parking Provided:

29 spaces provided, including 2 handicap spaces.

Landscaping:

The site has a number of existing trees. The applicant intends to retain the existing landscaping and provide additional landscaping throughout the site.

Screening:

No perimeter screening is required. Interior screening will be provided around trash dumpsters.

Lighting:

Exterior lighting to be ordinance compliant.

Utilities:

Water and sanitary sewer are available to the site. Utilities will be subject to approval of the civil construction plans.

Detention:

Storm water detention will be addressed as part of the review of the Civil Construction Plans.

Fire Protection:

The Fire Marshall has reviewed the Site Plan and has approved the plan as proposed.

Drainage:

On-site drainage will be subject to approval of the civil construction plans.

Easements:

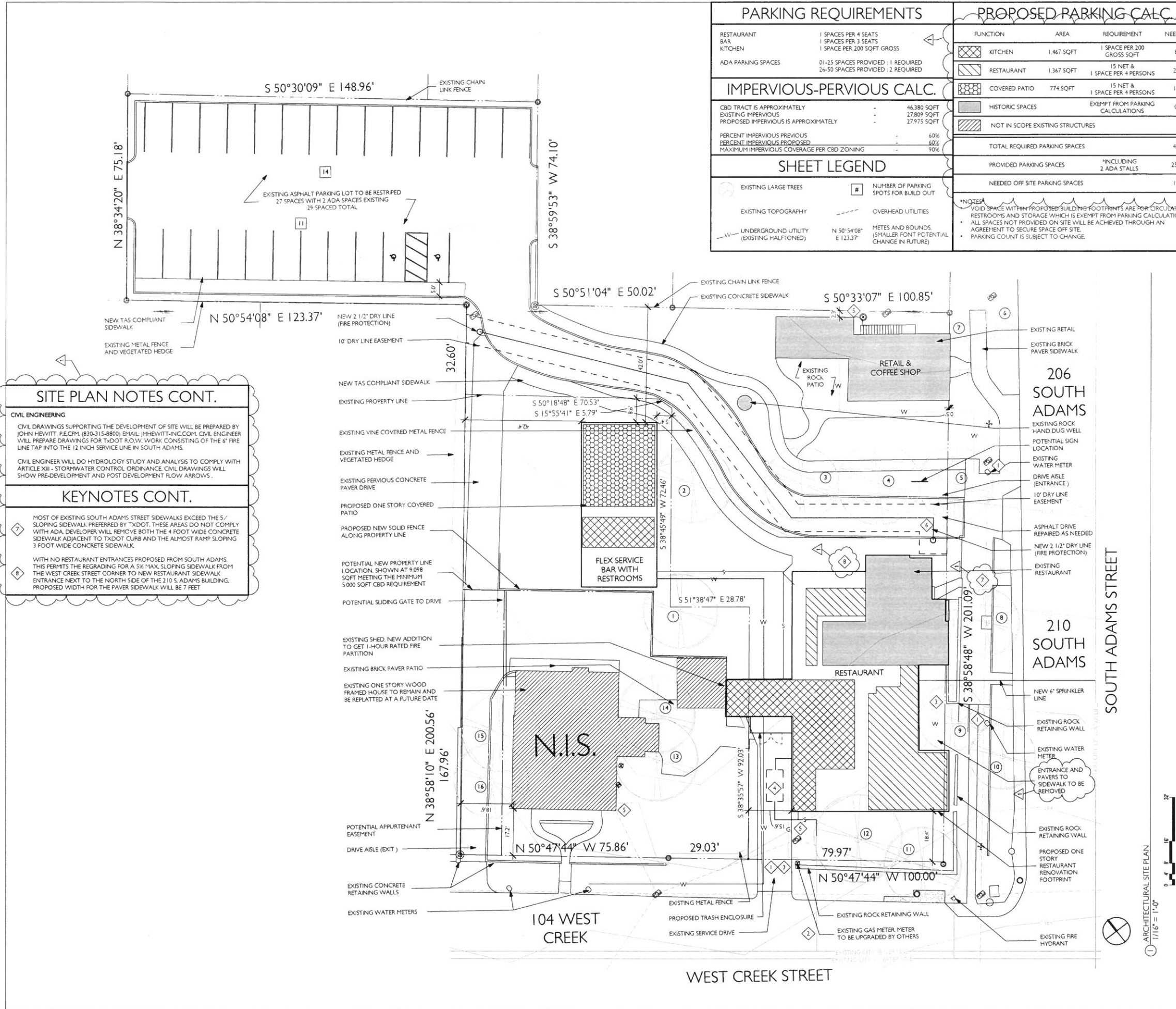
Not applicable.

Recommendation:

Approval, conditioned upon:

- 1) Public Works approval of civil construction plans prior to issuance of a building permit.
- 2) Approval of exterior building modifications by the Historic Review Board prior to issuance of a building permit.





PARKING REQUIREMENTS	
RESTAURANT	1 SPACE PER 4 SEATS
BAR	1 SPACE PER 3 SEATS
KITCHEN	1 SPACE PER 200 SQFT GROSS
ADA PARKING SPACES	01-25 SPACES PROVIDED : 1 REQUIRED 26-50 SPACES PROVIDED : 2 REQUIRED

IMPERVIOUS-PERVIOUS CALC.	
CBD TRACT IS APPROXIMATELY	46,380 SQFT
EXISTING IMPERVIOUS	27,809 SQFT
PROPOSED IMPERVIOUS IS APPROXIMATELY	27,975 SQFT
PERCENT IMPERVIOUS PREVIOUS	60%
PERCENT IMPERVIOUS PROPOSED	60%
MAXIMUM IMPERVIOUS COVERAGE PER CBD ZONING	90%

SHEET LEGEND	
EXISTING LARGE TREES	NUMBER OF PARKING SPOTS FOR BUILD OUT
EXISTING TOPOGRAPHY	OVERHEAD UTILITIES
UNDERGROUND UTILITY (EXISTING HALFTONED)	METES AND BOUNDS, (SMALLER POINT POTENTIAL CHANGE IN FUTURE)

PROPOSED PARKING CALC.			
FUNCTION	AREA	REQUIREMENT	NEEDED
KITCHEN	1,467 SQFT	1 SPACE PER 200 GROSS SQFT	8
RESTAURANT	1,367 SQFT	15 NET & 1 SPACE PER 4 PERSONS	23
COVERED PATIO	774 SQFT	15 NET & 1 SPACE PER 4 PERSONS	13
HISTORIC SPACES		EXEMPT FROM PARKING CALCULATIONS	0
NOT IN SCOPE EXISTING STRUCTURES			
TOTAL REQUIRED PARKING SPACES			44
PROVIDED PARKING SPACES			25*
NEEDED OFF SITE PARKING SPACES			19

*NOTES:
VOID SPACE WITHIN PROPOSED BUILDING FOOTPRINTS ARE FOR CIRCULATION, RESTROOMS AND STORAGE WHICH IS EXEMPT FROM PARKING CALCULATIONS.
ALL SPACES NOT PROVIDED ON SITE WILL BE ACHIEVED THROUGH AN AGREEMENT TO SECURE SPACE OFF SITE.
PARKING COUNT IS SUBJECT TO CHANGE.

SITE INFORMATION	
SITE LEGAL DESCRIPTION	0.352 ACRES BEING ALL OF LOT 431 RR 8, 0.713 ACRES BEING ALL OF LOT 432 RR 8 AS SHOWN ON THE PLAT RECORDED IN VOLUME 3, PAGE 89 OF THE PLAT OF RECORDS OF GILLESPIE COUNTY, TEXAS.
SITE OWNER	TEXAS FOOD & WINE HUNTER, LLC

SITE PLAN NOTES	
SITE SUMMARY - EXISTING CENTRAL BUSINESS DISTRICT "CBD" ZONING	EXISTING PROPERTY CONTAINS A RESTAURANT, RETAIL SPACE, OFFICE SPACE AS WELL AS RESIDENCES. THE CBD ALLOWS SINGLE FAMILY RESIDENCES TO REMAIN IF THEY EXISTED CONTINUOUSLY PRIOR TO THE PROPOSED DEVELOPMENT. ZERO LOT LINES ARE ALLOWED.
RESTAURANT AND RETAIL BUILDINGS	THE HILL & VINE - SUNDAY SUPPLY OWNERS WISH TO RENOVATE THE EXISTING STRUCTURES AND BRING THE FACILITIES UP TO CODE THIS INCLUDES RESTORING ELEMENTS ON THE HISTORIC STRUCTURES, REDUCING THE LEVEL CHANGES WITHIN THE RESTAURANT AND ADDING SPACE TO THE KITCHEN THEREBY MODERNIZING AND UPDATING THE EQUIPMENT.
PROPOSED LANDSCAPE	EXISTING PROPERTY HAS GARDENS, HEDGES AND RAISED PLANTER BEDS. THE OWNER INTENDS TO MAINTAIN AS MUCH OF THE EXISTING LANDSCAPE AS POSSIBLE ADDING TO OR REPLACING TO MATCH EXISTING AS NECESSARY. XERISCAPING TO BE EXPLORED IN EXISTING LANDSCAPE AREAS THAT ARE DETERMINED TO BE DEFICIENT AND/OR NECESSARY. 3 POORLY SHAPED PECAN TREES TO BE REMOVED. SEE TREE SCHEDULE.
PROPOSED SITE LIGHTING	ALL SITE LIGHTING WILL MEET CITY OF FREDERICKSBURG ORDINANCE 24-014, DARK SKY ORDINANCE
PROPOSED SIGN	PROPOSED SIGN ALONG SOUTH ADAMS SPECIFIC LOCATION TO BE DETERMINED AND PER CITY OF FREDERICKSBURG SIGN ORDINANCE. ADDITIONAL SIGNS WILL CONSIST OF WALL ON BUILDING.

UTILITY SERVICE NOTES	
ELECTRICAL	EXISTING ELECTRIC SERVICE TO THE PROPERTIES CONSISTS OF A TOTAL OF 6 METERS, 4 SERVING THE 104 ADDRESS AND ONE EACH TO THE 206 AND 210 ADDRESSES. PER A MEETING WITH ELECTRIC DEPT. HEAD LEE STUBBLEFIELD THE EXISTING POLE MOUNT 75 KVA TRANSFORMER AT 104 LOCATION WILL REMAIN. THE 3 METER AND SERVICES TO REAR BUILDING WILL BE REMOVED. A UP-GRADED SERVICE DROP TO THE 210 METER SERVING THE 206 ADDRESS (150 AMP), NEW REAR BUILDING (150 AMP) AND THE 210 RESTAURANT (400 AMP), ALL OVERHEAD LINES ALONG SOUTH ADAMS TO BE LOCATED UNDERGROUND, BY OTHERS.
SEWER SERVICE	SEWER SERVICES WILL CONNECT TO THE EXISTING LINE IN WEST CREEK, THE 104 ADDRESS SERVICE TO REMAIN. THE NEW REAR BUILDING SEWER WILL ROUTE TO CONNECT WITH 206 AND 210 ADDRESS LINE THAT CONNECTS TO THE SERVICE LINE ALONG WEST CREEK STREET.
WATER SERVICE	CURRENTLY THERE ARE 4 WATER METERS TO THE PROPERTIES. THE 104 RESIDENCE SERVICE TO REMAIN. THE SERVICE LINE TO THE 104 REAR BUILDING WILL BE ROUTED TO CONNECT TO THE PROPOSED PATIO BUILDING. THE 2 WATER SERVICES FOR THE 206 AND 210 ADDRESSES WILL REMAIN ALONG SOUTH ADAMS. THE 6 INCH RESTAURANT SPRINKLER LINE WILL EXTEND FROM THE 12 INCH SOUTH ADAMS WATER LINE.

KEYNOTES	
1	EXTEND WATER LINE FROM METER TO BE UTILIZED WITH OTHER EXISTING WATER LINES PER CITY OF FREDERICKSBURG CONSTRUCTION STANDARDS
2	EXISTING 4" SEWER CONNECTION TO BE MAINTAINED. WE WILL HAVE TO VERIFY EXISTING CONNECTION SIZE AND IF IT MEETS THE DESIGN REQUIREMENTS.
3	GAS METER TO BE UPGRADED BY OTHERS AS NECESSARY
4	NEW 1000 GAL GREASE TRAP. EXISTING GREASE TRAP TO BE REMOVED
5	ELECTRICAL SERVICE TO CONSOLIDATED. NEW METERS TO BE ADDED AS REQUIRED TO MEET CURRENT CODE
6	DRY LINE TO BE TESTED BY THE SPRINKLER SYSTEM WITH THE TWO EXISTING FIRE HYDRANTS ALONG SOUTH ADAMS. TO BE COORDINATED WITH THE CITY OF FREDERICKSBURG FIRE MARSHAL

EXISTING TREE SCHEDULE				
TAG	TREE SPECIES	DIAMETER	CONDITION	REMOVAL
1	PECAN	20"	NORMAL	NO
2	PECAN	20"	NORMAL	NO
3	PECAN	20"	NORMAL	NO
4	PECAN	20"	NORMAL	NO
5	PECAN	20"	NORMAL	NO
6	PECAN	20"	V-SHAPE DUE TO TRIMMING NEAR POWER LINES	YES
7	OAK	20"	NORMAL	NO
8	PECAN	20"	V-SHAPE DUE TO TRIMMING NEAR POWER LINES	YES
9	PECAN	20"	LOPSED DUE TO TRIMMING NEAR POWER LINES	NO
10	PECAN	20"	LOPSED DUE TO TRIMMING NEAR POWER LINES	NO
11	PECAN	20"	NORMAL	NO
12	PECAN	20"	SOME DEAD LIMBS THROUGHOUT	YES
13	PECAN	20"	NORMAL	NO
14	PECAN	20"	NORMAL	NO
15	PECAN	20"	NORMAL	NO
16	PECAN	20"	NORMAL	NO



PLAN B GROUP

ARCHITECTURE
PLAN B GROUP INC
3710 COMMERCE ST, SUITE 130
DALLAS, TX 75226
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214.522.0006

INTERIOR DESIGNER
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DALLAS, TX 75226
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214.522.0006

SITE PLAN FOR PLANNING AND ZONING FOR REVIEW

HILL & VINE -
SUNDAY SUPPLY
210 SOUTH ADAMS STREET
FREDERICKSBURG, TX 78624



REVISIONS:
DELTA DESCRIPTION DATE
1 P&Z REVISION 08.26.19

08.26.19

ARCHITECTURAL
SITE PLAN

A1.00