



# City of Fredericksburg

Planning and Zoning Meeting Agenda  
Wednesday, July 5, 2023 ~ 5:30 PM  
Law Enforcement Center  
1601 E. Main Street  
Fredericksburg, Texas 78624

Janice Menking, Chair  
Jim Jarreau, Member  
Daryl Whitworth, Member  
Jeff Lawrence, Member  
Cindy Scroggins, Member

Tom Musselman, Member  
Polly Rickert, Member  
Tim Dooley, Vice Chair  
Steve Thomas, Member

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The City of Fredericksburg Planning and Zoning Commission will meet in a regular session on July 5, 2023, at 5:30 PM. Link to City of Fredericksburg YouTube Channel (Fredericksburg, Texas USA - YouTube <https://www.youtube.com/c/FredericksburgTexasUSA>).

Written Comments: to be submitted remotely:

1. Must be received by 2 p.m. on July 5, 2023.
2. Complete the Citizen Comment Form online at [www.fbgtx.org](http://www.fbgtx.org); or
3. Email your comments to [scollier@fbgtx.org](mailto:scollier@fbgtx.org)

Verbal Comments on Agenda Items:

1. Sign up in-person between 5:00 p.m. and 5:30 p.m. at the Law Enforcement Center, 1601E. Main Street, in order to comment.

You will be limited to 3 minutes to speak.

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## 1. CALL TO ORDER

## 2. ROLL CALL

## 3. APPROVAL OF MINUTES

- A. June 5, 2023 Regular Meeting Minutes

## 4. PUBLIC HEARING

- A. REQUEST #Z-2313: BY REBECCA RATHER, CLAYTON WALVOORD, BRADLEY OEHLER, DANIELLE SAUNDERS, KATHRYN HARRISON, AND NANCY HALL TO CONSIDER THE FOLLOWING:

1. LAND USE CHANGE FROM LOW DENSITY RESIDENTIAL (LDR) TO MEDIUM DENSITY RESIDENTIAL (MDR) FOR PROPERTIES LOCATED AT 402, 406, 408, 412, 414 AND 416 EAST AUSTIN ST AND 204 N. ELK ST.
2. ZONING CHANGE FROM (R1) SINGLE FAMILY RESIDENTIAL TO (R2) MIXED RESIDENTIAL FOR PROPERTIES LOCATED AT 402,406,408,412, 414 AND 416 EAST AUSTIN STREET AND 204 N. ELK ST.
  - i. Presentation by applicant
  - ii. Staff Report
  - iii. Hold a public hearing to receive comments for or against the request
  - iv. Take action on the land use change and rezone request

- B. REQUEST #Z-2314: REQUEST BY DAN SCULLY TO CONSIDER A CONDITIONAL USE PERMIT PER SECTION 3.510 TO CONSTRUCT FIVE (5) FIRST-FLOOR BED AND BREAKFAST UNITS LOCATED IN THE HISTORIC SHOPPING OVERLAY DISTRICT ON PROPERTY LOCATED AT 111 EAST AUSTIN STREET.
  - I. Presentation By Applicant
  - li. Staff Report
  - lii. Hold A Public Hearing To Receive Comments For Or Against The Request
  - Iv. Take Action On The CUP Request Per Section 3.210 To Allow For First-Floor B&B Units In The Historic Shopping District

## **5. OTHER ACTION ITEMS**

- A. CONSIDER SP-2307 - SITE PLAN AND ENTRY CORRIDOR REVIEW FOR STR-FACILITY COMPLEX THAT INCLUDES A TASTING ROOM AND OFFICE USE FOR PROPERTY LOCATED AT 715 S WASHINGTON.

## **6. DISCUSSION ITEMS**

- A. Director's Report

7. **EXECUTIVE SESSION Pursuant to Section 551.071 of the Texas Government Code, the Planning and Zoning Commission reserves the right to adjourn into closed session at any time during the course of this meeting to consult with their attorney regarding any item listed on this agenda.**

## **8. ADJOURN**

### **CERTIFICATION**

This is to certify that I, Shelby Collier, posted this Agenda at 1:00 PM. on June 30,2023, on the bulletin board of the City of Fredericksburg City Hall, 126 W. Main St., Fredericksburg, Texas.

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Shelby Collier  
Associate Planner

**STATE OF TEXAS  
COUNTY OF GILLESPIE  
CITY OF FREDERICKSBURG**

**PLANNING & ZONING COMMISSION  
June 7, 2023  
4:30 P.M.**

On this the 7<sup>th</sup> day of JUNE 2023 the PLANNING AND ZONING COMMISSION convened in regular Session at the Law Enforcement Center located at 1601 E. Main Street with the following members present to constitute a quorum:

**PRESENT:**

JANICE MENKING  
JEFF LAWRENCE  
JIM JARREAU  
TOM MUSSELMAN  
CINDY SCROGGINS  
TIM DOOLEY  
STEVE THOMAS  
POLLY RICKERT  
DARYL WHITWORTH

**ABSENT:**

**ALSO, PRESENT:**

ANNA HUDSON - Director of Development Services  
MICK MCKAMIE – City Attorney  
SHELBY COLLIER – Associate Planner

Janice Menking called the meeting to order at 4:30 P.M.

**TRAINING**

The Planning and Zoning Commission received commissioner training from the City Attorney, Mick McKamie until 5:30 PM.

**PUBLIC COMMENTS**

**MINUTES**

Daryl Whitworth made a Motion to Approve the May 2023 Regular Meeting Minutes. Seconded by Polly Rickert. All voted in favor and the motion carried.

Daryl Whitworth made a Motion to Approve the April 18, 2023, Joint City Council and Planning and Zoning Meeting Minutes. Seconded by Tom Musselman. All voted in favor and the motion carried.

**PUBLIC HEARING**

**REQUEST #Z-2311 – REQUEST BY JESSE DURDEN WITH KEPT PROPERTY GROUP, LLC TO CONSIDER A CONDITIONAL USE PERMIT PER SEC. 3.110 TO ALLOW FOR CONDOMINIUM USE FOR PROPERTY LOCATED 1 LOT EAST OF 591 FRIENDSHIP LANE. PROPERTY IS DEFINED AS GERMAN EMIGRATION**

## **COMPANY LOT 24.**

Jim Jarreau made a motion to open the public hearing. Tom Musselman seconded the motion. All voted in favor and the motion carried.

Jesse Durden, the applicant, presented his application to the Commission. He stated it is his desire to develop 22 Condominium units that would not be used as Short-Term Rentals.

Charles Frazier voiced his displeasure with the development occurring around his property and stated that no more development is needed.

Melissa Staudt spoke in support of the project and identified herself as the broker associated with the purchase of the property.

Tom Musselman made a motion to close the public hearing. Jim Jarreau seconded the motion. All voted in favor and the motion carried.

## **REQUEST #Z-2312 – REQUEST BY KEVIN SPRAGGINS WITH VEI TO CONSIDER A CONDITIONAL USE PERMIT (CUP) PER SEC. 3.210 TO ALLOW A “DRIVE THROUGH OR DRIVE-IN FACILITIES” FOR PROPERTY LOCATED AT 720 SOUTH ADAMS STREET.**

Jim Jarreau made a motion to open the public hearing. Tom Musselman seconded the motion. All voted in favor and the motion carried.

Kevin Spraggins stated that he wants to build a 19,000 square foot, 2-story building that would consist of 16 units and is requesting a Conditional Use Permit to have a drive through for a dry cleaning/laundry business.

Tom Musselman made a motion to close the public hearing. Jim Jarreau seconded the motion. All voted in favor and the motion carried.

## **ACTION ITEM**

## **DISCUSSIONS, CONSIDERATION AND RECOMMENDATION REGARDING REQUEST #Z-2311 – REQUEST BY JESSE DURDEN WITH KEPT PROPERTY GROUP, LLC TO CONSIDER A CONDITIONAL USE PERMIT PER SEC. 3.110 TO ALLOW FOR A CONDOMINIUM USE FOR PROPERTY LOCATED 1 LOT EAST OF 591 FRIENDSHIP LANE. PROPERTY IS DEFINED AS GERMAN EMIGRATION COMPANY LOT 24.**

Shelby Collier, Associate Planner, stated the applicant is requesting a Conditional Use Permit (CUP) to allow for a Condominium Use for property located east of 591 Friendship Lane. It is important to note that this property has not yet been platted and the property that is requesting a CUP is a portion of the existing lot.

The proposed project consists of 22, 1-story buildings, 13 1-bedrooms and 9 2-bedroom units that average 1,366 sq ft per unit. The project is not proposing sidewalks within the development but is providing centrally located green space that includes dark-sky compliant lighting.

The development requires 53 parking spaces and is providing 56 and meets the minimum requirements for building coverage, height and impervious coverage. Parkland dedication shall be paid at a rate of \$500.00 per unit for a total of \$11,000. STR use is not part of this request, therefore only condominium review criteria was considered. If the applicant had an interest in STR use, a CUP for that specific use is required.

Condominium uses align with the City's need for more diverse housing stock and offer a lower entry point for homeownership than single-family houses. STR-Condo requires a CUP and is not part of this request, as such staff supports this use.

Staff recommends approval conditioned upon an approved site plan, approved final plat and condominium plat, approved addressing plan, approved landscape and screening plan and approved civil construction plans.

Tim Dooley stated he feels that the site plan is incomplete and does not want to approve a blanket CUP.

Polly Rickert stated that she has concerns regarding the unplatted property. She went on to say that she has concerns regarding the development of the proposed second lot, specifically access.

Tom Musselman stated that he believes more parking should be provided for guests and future homeowners.

Cindy Scroggins wanted to inform the Commission that she was contacted by the applicant prior to the presentation.

Tim Dooley made a motion to recommend denial of Z-2311. Seconded by Steve Thomas. All voted in favor and the motion carried.

**DISCUSSIONS, CONSIDERATION AND RECOMMENDATION REGARDING REQUEST #Z-2312 – REQUEST BY KEVIN SPRAGGINS WITH VEI TO CONSIDER A CONDITIONAL USE PERMIT (CUP) PER SEC. 3.210 TO ALLOW A “DRIVE THROUGH OR DRIVE-IN FACILITIES” FOR PROPERTY LOCATED AT 720 SOUTH ADAMS STREET.**

Anna Hudson, Director of Development Services, stated the applicant is requesting a Conditional Use Permit for a drive through located on the north side of the building that will serve a dry cleaning/laundry business.

The traditional design of the commercial development is in keeping with the intent of the Entry Corridor Design Guidelines. Staff notes that any use allowed in C2 zoning would be able to occupy part of the building, but only personal service and general retail have been identified for parking calculations. A restaurant would have a different calculation. The site is maxed out for impervious cover limiting the ability to add more parking.

Staff recommends approval conditioned upon an approved addressing plan, approved landscape and screening plan and approved civil construction plans.

Tim Dooley made a motion to recommend approval of Z-2312 per Staff recommendation. Tom Musselman seconded the motion. All voted in favor and the motion carried.

**REQUEST P-2308 – REQUEST BY BRYAN SHERRIEB WITH DUNAWAY ASSOCIATES, LLC TO CONSIDER A PRELIMINARY PLAT FOR THE MEUSE DEVELOPMENT AT HWY 290 WEST AND US HWY 87 NORTH.**

Bryan Sherrieb with Dunaway Associates presented the application. He stated that the project has new owners with a new development and will be combining the previous 3 lot proposal into 1 lot.

Shelby Collier, Associate Planner, stated the property was annexed in 2018 (Z-1809) and a Preliminary Plat was approved (P-1828) as part of a previous development called Seven Hills. That project will not be moving forward, and new ownership has taken over the property and plans to develop a different concept. As part of that process a new Preliminary Plat is required with the applicant requesting a one lot configuration as opposed to the previously approved 3.

The lot consists of 22 acres and is not proposing new roadways. There are utilities available to serve the lot which will further be reviewed as part of the Civil Construction Plans.

Staff recommends approval conditioned upon an approved Final Plat, approved PUD amendment, approved developers' agreement, approved civil construction plans and approved addressing.

Jim Jarreau made a motion to approve P-2308 per Staff recommendation. Daryl Whitworth seconded the motion. Tom Musselman voted in opposition and all others voted in favor. The motion carried.

**REQUEST SP-2305 – REQUEST BY KEVIN SPRAGGINS WITH VEI TO CONSIDER A SITE PLAN FOR A MODULAR MULTI-FAMILY DEVELOPMENT LOCATED AT SOUTH EAGLE AND FRIENDSHIP LANE.**

Tom Musselman recused himself and left the table.

Kevin Spraggins presented the application. He stated it was his client's desire to build a multi-Family development that consists of 107 2-bedroom, single-story, modular units across 2 lots. He reminded the Commission that the previously approved Site Plan for the site allowed for 152 units that were 2 stories.

Anna Hudson, Director of Development Services, stated that the proposed project consists of 107 2-bedroom units. The development takes access from South Eagle and Sunrise Street. There are no proposed sidewalks for the development, rather the pedestrian circulation will be through the proposed driveisles, which prohibit street parking.

The development proposes 316 parking spaces and is responsible for providing Park Dedication at a rate of \$500 per unit resulting in \$53,500 in Park Land fees.

Staff have some concerns regarding placement and orientation of the buildings. The existing developments along this stretch of South Eagle consist of single-family residential homes that front on South Eagle. Refuse placement should be identified on the Site Plan.

Staff recommends conditional approval conditioned upon, all site plan requirements be met, approval of preliminary and final plat, approval of an addressing plan, approval of landscaping and screening plan and approval of civil construction plans.

Polly Rickert stated that street parking will be an issue and recommends dumpsters not wheeled bins. She also asked about the possibility of STR uses.

Shelby Collier stated that in R2 zones only 1 STR-Unoccupied permit may be issued, however C1 allows up to 8 STR permits.

Anna Hudson stated that the C1 lot may be rezoned to R2.

Tim Dooley asked what the rental rates would be. A representative of the project responded that they are considering \$1,650 for the 2 bed/2 bath units.

Tim Dooley asked if the ownership would self-manage the property. A representative of the project said no, they would 3<sup>rd</sup> party the management.

Polly Rickert made a motion to deny SP-2035. Tim Dooley seconded the motion. All voted in favor and the motion carried.

Staff stated that they would be willing to work with the applicant regarding design and layout of the proposed development.

**REQUEST SP-2306 – REQUEST BY KEVIN SPRAGGINS WITH VEI TO CONSIDER A SITE PLAN FOR A HOTEL COMPLEX LOCATED AT 1100 FRIENDSHIP LANE.**

Tom Musselman returned to the table and discussion.

Kevin Spraggins presented the application. He stated that the request is for 3 separate hotels that are 3 stories each with a total of 309 rooms and 2 pools. The property was rezoned to C2 last year.

Shelby Collier, Associate Planner, thanked Kevin for his presentation. She went on to say that the development is proposing 309 rooms between 3, 3-story hotels. The development is proposing internal sidewalks to assist with pedestrian connectivity and is matching the primary entrance with the Walmart access drive across Friendship Lane.

The project is providing 324 parking spaces and is responsible for any extension of utilities. Staff has concerns regarding the placement and size of the buildings given the 2-story multi-family use to the west, the single-story retail building to the east, the rv park and single-family residences to the south and the elevation changes to the north.

Staff recommends elevations are submitted and reviewed to better understand the full impact of the development. If the commission were to approve the application, Staff recommends approval be conditioned upon an approved final plat, approved addressing plan, approved landscaping and screening plan and approved civil construction plans.

Polly Rickert asked about the distance of the southern pool to the property line shared with a single-family residence.

Kevin Spraggins stated that the pool was 50 feet or more away from the property.

Tom Musselman spoke regarding his concerns for traffic in the area.

Daryl Whitworth made a motion to approve SP-2306 per Staff recommendation. Seconded by Tom Musselman. All voted in favor and the motion carried.

**DISCUSSION ITEM**

Directors report included a legislative update including a list of new state statutes that will impact Planning & Zoning.

**ADJOURN**

With nothing further to come before the Commission, Tim Dooley moved to adjourn. Seconded by Polly Rickert. All voted in favor and the meeting was adjourned at 8:02 p.m.

**PASSED AND APPROVED this 5<sup>th</sup> day of July 2023.**

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SHELBY COLLIER, Associate Planner

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JANICE MENKING, Chairman



## **PLANNING AND ZONING COMMISSION** **AGENDA MEMO**

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**DEPARTMENT:** Development Services  
**TO:** Planning and Zoning Commission  
**FROM:** Shelby Collier, Associate Planner  
**MEETING DATE:** July 5, 2023

**CATEGORY:** PUBLIC HEARING

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**CAPTION:** REQUEST #Z-2313: BY REBECCA RATHER, CLAYTON WALVOORD, BRADLEY OEHLER, DANIELLE SAUNDERS, KATHRYN HARRISON, AND NANCY HALL TO CONSIDER THE FOLLOWING:

1. LAND USE CHANGE FROM LOW DENSITY RESIDENTIAL (LDR) TO MEDIUM DENSITY RESIDENTIAL (MDR) FOR PROPERTIES LOCATED AT 402, 406, 408, 412, 414 AND 416 EAST AUSTIN ST AND 204 N. ELK ST.
  2. ZONING CHANGE FROM (R1) SINGLE FAMILY RESIDENTIAL TO (R2) MIXED RESIDENTIAL FOR PROPERTIES LOCATED AT 402,406,408,412, 414 AND 416 EAST AUSTIN STREET AND 204 N. ELK ST.
    - i. Presentation by applicant
    - ii. Staff Report
    - iii. Hold a public hearing to receive comments for or against the request
    - iv. Take action on the land use change and rezone request
- 

### **PRESENTATION:**

#### **SUMMARY:**

The applicants request to change the landuse from low density residential (LDR) to medium density residential (MDR) and change the zoning from R1, Single Family Residential to R2, Mixed Residential for seven lots. This change would allow for the properties to operate as STR-Unoccupied (three of which already do) but would not allow them to operate as STR-Facilities.

#### **BACKGROUND:**

A group of owners previously requested commercial zoning (Z-2305) which was denied at the May 2023 Planning & Zoning Meeting. Feedback from Planning & Zoning, along with Staff, was to include the entire block face and change the request to R2 zoning to create a transition zone from the CBD across the street to the south and R1 zoning to the south.

Six of the seven subject properties have frontage on East Austin plus 1 property on North Elk (204). Two operate as Short-Term Rentals (412 and 414 East Austin). The zoning to the north, east and west is R1 and across East Austin Street, to the south, the block is zoned CBD, Central Business District.

The Historic District Boundary stops at North Washington and does not cover this area.  
Refer to the attached Zoning Map.

The Commercial Uses across the street from the Subject tracts include The Inn Above Town Creek (107 N. Washington) and Winchester Lodge (415 East Austin). These properties are also located between the National Museum of the Pacific War (300 block of East Austin) and the reenactment area of the museum (500 block of East Austin).

There are a total of thirteen (13) R1 properties located within the 200 foot notification area and 5 of them are Short-Term Rentals and the rest are residences or second homes. Refer to attached Public Hearing Map.

As of June 30, 2023, one letter in opposition from a neighbor within 200' has been received.

**FUNDING SOURCE:**

**FINANCIAL IMPACT:**

**STAFF RECOMMENDATION:**

This block of East Austin Street has a high volume of vehicular and pedestrian traffic. R2 allows up to 28 ft in height and requires a 25' rear setback for multistory development if abutting residential zoning (which is the case). The setback requirements and principal permitted uses allowed in R2 would be harmonious with the existing residential developments to the north. Staff recommends approval of the requests (land use and zoning changes) as presented.

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**COMMUNITY VISIONING/STRATEGIC INITIATIVES:**

Business Visioning  
Government Vision  
Family Life Vision  
Quality of Life Vision

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**ATTACHMENTS:**

1. Z-2313 Zoning Map
2. Z-2305 Narrative
3. Z-2313 Response to PH Map STR
4. Sec. 3.110

**APPROVAL/REVIEW:**

# Legend Z-2313

## Zoning

### ZONED

- C2 - Commercial
- CBD - Central Business District
- OS - Open Space
- PF - Public Facilities
- R1 - Single Family Residential
- R2 - Mixed Residential



**From:** \_\_\_\_\_  
**To:** \_\_\_\_\_  
**Subject:** Fw: 400 Block of E. Austin Zoning  
**Date:** Friday, April 28, 2023 10:40:04 AM

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**From:** Clayton Walvoord <>  
**Sent:** Monday, April 17, 2023 3:47 PM  
**To:** Shelby Collier <scollier@fbgtx.org>; Kathryn Harrison <>; Anna Hudson <ahudson@fbgtx.org>  
**Cc:** 'Jessica Mittel'; 'Rebecca Rather' <>; 'Bradley Oehler' <>  
**Subject:** 400 Block of E. Austin Zoning

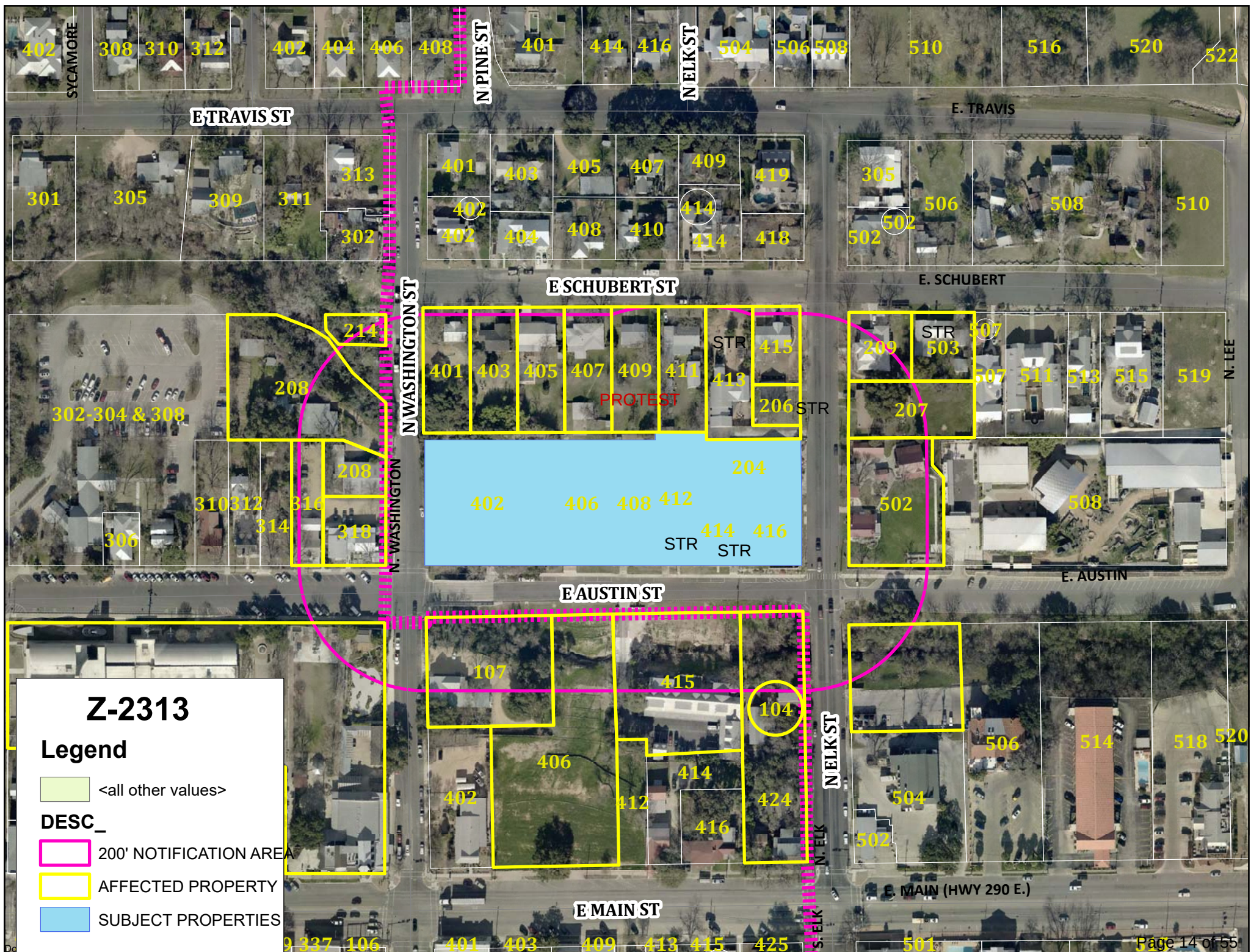
Hey Anna,

I left you a voicemail earlier today, but I thought I might follow up with an email with everyone on it, including Kathy, so we can have as open a dialog as possible. Kathy and I had a very nice discussion the end of last week, and it really does boil down to her concerns over the ability for potential buyers to construct a 3 story commercial building next door to her properties. I completely understand her position, and everyone else is on board with the idea that a special provision should be created to limit building height as well.

The creation of C1.5 zoning was an excellent idea by the city as it allows for a transition(buffer) from full on commercial to residential and, as you said, gives a more residential feel to an area, but still allows new, but limited commercial uses. Erecting a 3 story commercial building in the middle of our street would completely eliminate any residential feel. I would think that as the city continues to transition additional areas using C1.5, this type of issue will continue to arise, and working to preserve a residential feel to buffer residents and soften the transition to commercial would be key in getting zoning like this approved, both now, and down the road.

I have to believe that there is some way we can amend this as it makes a lot of sense for, not just us, but also long term for the city I would think.

Please let me know your thoughts, and thank you for your patience as we try to find the right solution for all involved.



## Sec. 3.110. - R-2: MIXED RESIDENTIAL.

### Intent

This zone is intended to provide for medium density living, for example, with not more than one (two bedroom) dwelling unit permitted for each 3,500 square feet of lot area. (See Site Development Regulations). Additional uses necessary and incidental to multiple family residential dwellings are also permitted. It is a zone well suited as a buffer between single family uses and other more intense uses. This zone is typically associated with Medium Density Residential Land Use category but is allowed within all Land Use categories except "Open Space/Park," "Public Facility" and "Industrial."

### Principal Permitted Uses

Buildings, structures and land shall be used, and buildings and structures shall hereinafter be erected, altered or enlarged only for the following uses, plus such other uses as the City Council, by resolution, may deem to be similar to those uses listed and not obnoxious or detrimental to the public health, safety and welfare:

|                                                                                                                                         |                                                                                      |
|-----------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------|
| Community Recreation                                                                                                                    | Local Utility Service                                                                |
| Duplex Residential                                                                                                                      | Multiple Family Residential                                                          |
| Townhouses (Section <u>7.610</u> )                                                                                                      |                                                                                      |
| Group Residential                                                                                                                       | Single Family Residential (Detached)                                                 |
| Single Family Small Lot (Section <u>3.101</u> R-1-A)                                                                                    |                                                                                      |
| Short-term Rental, Accessory: (With a STR permit and adherence to <u>Section 5.401</u> )                                                | Short-term Rental, B & B: (With a STR permit and adherence to <u>Section 5.401</u> ) |
| Short-term Rental, Unoccupied—not located within the Historic Overlay District: (With a STR permit, adherence to <u>Section 5.401</u> ) |                                                                                      |

### Uses Permitted Subject To Conditional Use Permit

The following uses may be permitted subject to a Conditional Use Permit as provided in Section 5.400.

|                                                                                                                                                                                                                                                                                                                                                                                                                                  |                                                                                                                                                                                                                                                                                           |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Private Primary Educational Facilities                                                                                                                                                                                                                                                                                                                                                                                           | Private Secondary Educational Facilities                                                                                                                                                                                                                                                  |
| Day Care Services                                                                                                                                                                                                                                                                                                                                                                                                                |                                                                                                                                                                                                                                                                                           |
| Condominiums (Section <u>7.610</u> )                                                                                                                                                                                                                                                                                                                                                                                             |                                                                                                                                                                                                                                                                                           |
| Convalescent Services                                                                                                                                                                                                                                                                                                                                                                                                            |                                                                                                                                                                                                                                                                                           |
| Cultural Services                                                                                                                                                                                                                                                                                                                                                                                                                | Religious Assembly                                                                                                                                                                                                                                                                        |
| Guidance Services                                                                                                                                                                                                                                                                                                                                                                                                                |                                                                                                                                                                                                                                                                                           |
| Short-term Rental, Unoccupied - located within the Historic Overlay District: (With a STR permit, adherence to <u>Section 5.401</u> )                                                                                                                                                                                                                                                                                            | Short-term Rental, Condominium: (With a STR permit and adherence to <u>Section 5.401</u> ) <ul style="list-style-type: none"> <li>• If the property is immediately abutting a Non-Residential Zoning District (Open Space not included), or a PUD that allows commercial uses.</li> </ul> |
| Short-term Rental, Facility: (With a STR permit and adherence to <u>Section 5.401</u> ) <ul style="list-style-type: none"> <li>• If the property is immediately abutting a Non-Residential Zoning District (Open Space not included), or a PUD that allows commercial uses.</li> <li>• When located within the Historic Overlay District, use is limited to a maximum of one structure per 5,000 square feet of land.</li> </ul> |                                                                                                                                                                                                                                                                                           |

#### Property Development Standards

Except as hereinafter provided, no building or structure or part thereof shall be erected, altered or converted for any use permitted in this district unless it is in conformity with all the standards and regulations herein specified for lot area, width and depth, dwelling unit area, lot coverage, yards and

building height. The following standards shall apply except in cases where a lot does not meet the standards herein required but was an official "lot of record" prior to the adoption of this ordinance. In such cases, the present dimension shall be maintained as a minimum standard until such time as the use is removed. The replacement shall meet the standards and regulations herein specified.

#### Site Development Regulations

Each site in the R-2 district shall be subject to the following site development regulations:

| Feature                               | Regulation                                                                                                                                                                                                                                                       |
|---------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Lot Size                              | Minimum Lot Area, 5,000 Square feet                                                                                                                                                                                                                              |
| Lot Width                             | Minimum Lot Width, 50 feet                                                                                                                                                                                                                                       |
| Height                                | 2½ Stories, 28 feet                                                                                                                                                                                                                                              |
| Front Yard                            | Minimum Required Setback, 15 feet (20 feet for garage)                                                                                                                                                                                                           |
| Street Side Yard                      | Minimum Required Setback, 15 feet                                                                                                                                                                                                                                |
| Interior Side Yard                    | Minimum Required Setback, 5 feet for single family detached structures; or<br>10 feet, for multi-family developments, when abutting residential zoning districts; or<br>15 feet for 2 story multi-family developments when abutting residential zoning districts |
| Rear Yard                             | Minimum Required Setback, 10 feet; or<br>15 feet, for multi-family developments, when abutting a residential zoning district; or<br>25 feet, for multi-family developments, for 2 or more stories when abutting residential zoning districts                     |
| Residential Density                   | Minimum Site Area per Dwelling Units,                                                                                                                                                                                                                            |
|                                       | Efficiency: 2,500 Square feet                                                                                                                                                                                                                                    |
|                                       | 1 Bedroom: 3,000 Square feet                                                                                                                                                                                                                                     |
|                                       | 2 Bedroom: 3,500 Square feet                                                                                                                                                                                                                                     |
|                                       | 3 Bedroom: 4,000 Square Feet<br>Each additional bedroom (over 3 bedrooms) shall provide an additional 500 square feet interval to the required density area                                                                                                      |
| Maximum Impervious Coverage           | 65%                                                                                                                                                                                                                                                              |
| Maximum Building Coverage             | Percent of Lot Area, 55%                                                                                                                                                                                                                                         |
| Nonconforming Uses                    | <u>Section 6.100</u>                                                                                                                                                                                                                                             |
| Site Development Regulations          | <u>Section 7.000</u>                                                                                                                                                                                                                                             |
| Special Yard Regulations              | <u>Section 7.300</u>                                                                                                                                                                                                                                             |
| Fences, Walls and Visibility          | <u>Section 7.530</u>                                                                                                                                                                                                                                             |
| Parking                               | <u>Section 7.800</u>                                                                                                                                                                                                                                             |
| Landscaping and Screening Regulations | <u>Section 7.900</u>                                                                                                                                                                                                                                             |

|                              |                      |
|------------------------------|----------------------|
| Temporary/Accessory Building | <u>Section 8.000</u> |
| Home Occupations             | <u>Section 8.300</u> |

**Note—** In an R-2 Zone the R-1-A Site Development Regulations may apply to the development of single family dwellings at the option of the Owner.

(Ord. No. 18-014, § 3.110, 12-1-2008; Ord. No. 23-014, 9-16-2013; Ord. No. 2022-13, § 3(Exh. C), 3-21-2022)



## **PLANNING AND ZONING COMMISSION** **AGENDA MEMO**

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**DEPARTMENT:** Development Services  
**TO:** Planning and Zoning Commission  
**FROM:** Shelby Collier, Associate Planner  
**MEETING DATE:** July 5, 2023

**CATEGORY:** PUBLIC HEARING

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**CAPTION:** REQUEST #Z-2314: REQUEST BY DAN SCULLY TO CONSIDER A CONDITIONAL USE PERMIT PER SECTION 3.510 TO CONSTRUCT FIVE (5) FIRST-FLOOR BED AND BREAKFAST UNITS LOCATED IN THE HISTORIC SHOPPING OVERLAY DISTRICT ON PROPERTY LOCATED AT 111 EAST AUSTIN STREET.

- I. Presentation By Applicant
  - li. Staff Report
  - lii. Hold A Public Hearing To Receive Comments For Or Against The Request
  - lv. Take Action On The CUP Request Per Section 3.210 To Allow For First-Floor B&B Units In The Historic Shopping District
- 

### **PRESENTATION:**

#### **SUMMARY:**

The applicant is requesting a Conditional Use Permit (CUP) to construct five (5) first-floor Short-Term Rental Units located in the Historic Shopping Overlay District on property located at 111 E. Austin.

#### **BACKGROUND:**

The property is a portion of an existing parking lot that currently provides access to the parking area for Clear River Pecan Company at 123 E. Main. The lot is located between The Villas (STR units) to the east and Fredericksburg Bible Church to the west. The property was subdivided from the historic Schandua house at 109 E. Austin.

The applicant is requesting to add approximately 4,000 sq ft of building coverage in the form of one building that will be divided into 5 units. The concept and design match the previously approved Villas, located at 142 E. Main (but front on East Austin to the east of this property) and consists of ornamental fencing along the front of the units, stucco walls and a shed roof. Each unit will have a hottub located in front of the unit, inside the ornamental fencing.

The property obtained Historic Review Board approval at the June 13, 2023, meeting conditioned upon civil construction plan approval, approval of colors, review of west elevation design, and protection for the high rated historic Schandua house located at 109 E. Austin.

**Site Area:** 18,023 Square Feet

**Zoning:** Central Business District (CBD) **Sec. 3.220**

**Building Coverage:** 22% (4,000 sq ft) (no maximum) **Sec. 3.220**

**Impervious Coverage:** 88% (15,817 sq ft) (90% maximum) **Sec. 3.220**

**Heights:** 1 Story (20'-2") Max Building Height 38 Feet [Sec. 3.220](#)

**Parking:** 21 spaces provided (required ratio of 60% permitted occupancy) [Sec. 7.863](#)

**Utilities:** Service to the units will be a single water and sewer tap installed by the developer.

**Detention:** Stormwater detention plans & studies shall be reviewed as part of the Civil Construction Plans.

**Landscape:** One (1) tree per 75 LF required. Off-street parking shall have ten (10) sq ft of interior landscaping for each parking space. A strip of land at least five (5) in depth located between the abutting right-of-way and the off-street parking areas or other vehicular use area which is exposed to an abutting right-of-way shall be landscaped and include one (1) tree for each fifty (50) lineal feet. In addition, a hedge, wall, or other durable landscape barrier of at least two (2) feet in height shall be placed along the perimeter. [Sec. 7.920](#)

**FUNDING SOURCE:**

**FINANCIAL IMPACT:**

**STAFF RECOMMENDATION:**

[Sec. 5.460 - Review and Evaluation Criteria](#) contains 13 items that must be considered when reviewing a CUP. Staff found that this application has met or exceeded all the requirements. The requested use aligns with existing developments on neighboring sites and is harmonious with other surrounding uses. Staff recommends approval conditioned upon the following:

Approved Civil Construction Plans

Approved Addressing Plan

Approved Landscape Plan

Satisfying Historic Review Board conditions 23-140 regarding protection of the historic Schandua House at 109 E Austin from water runoff and vehicular traffic/parking.

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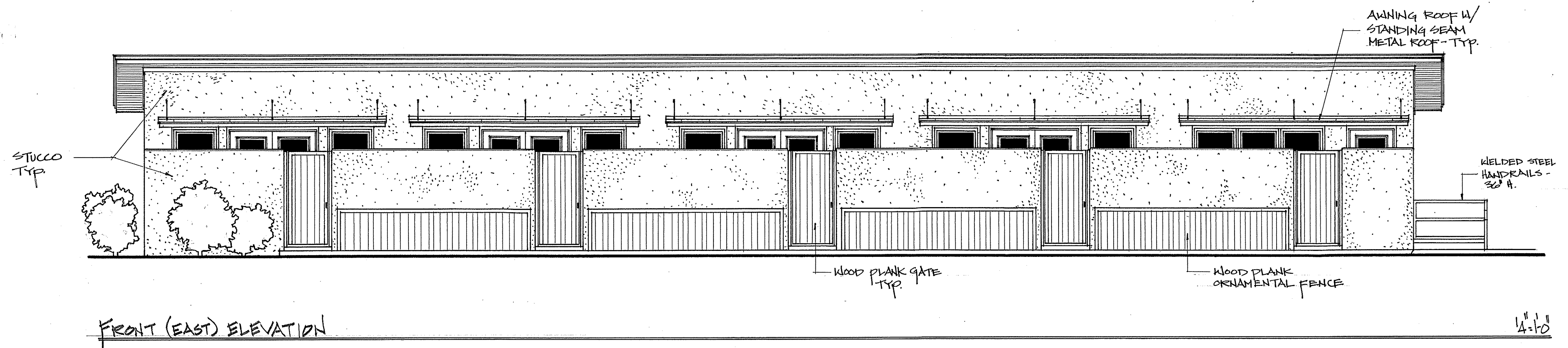
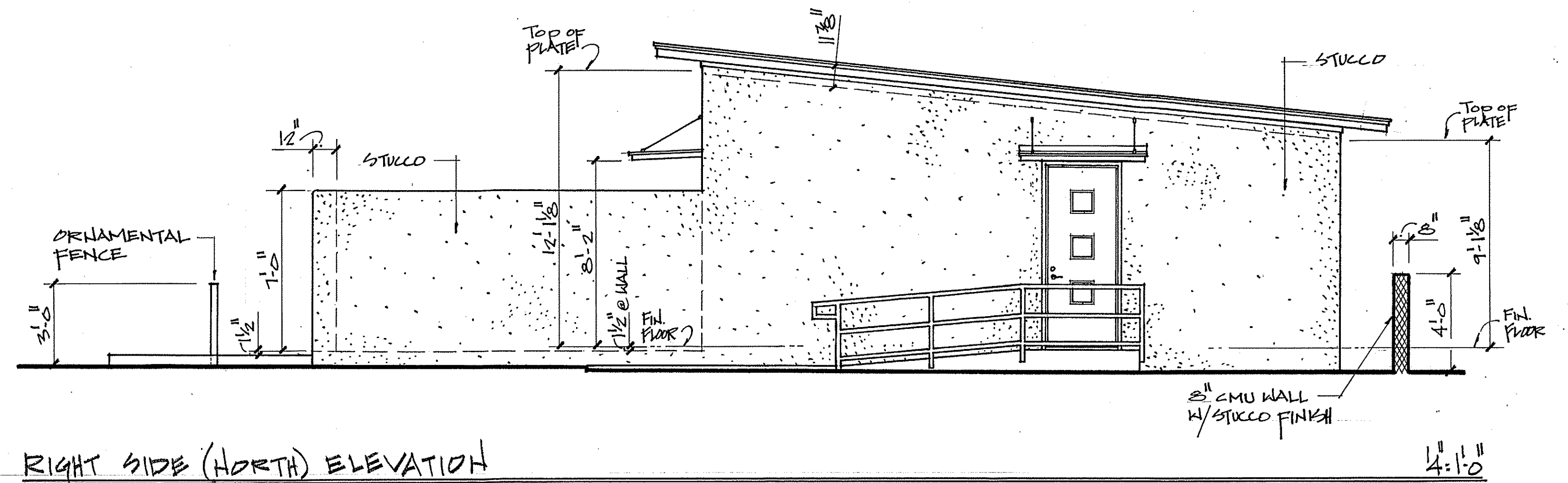
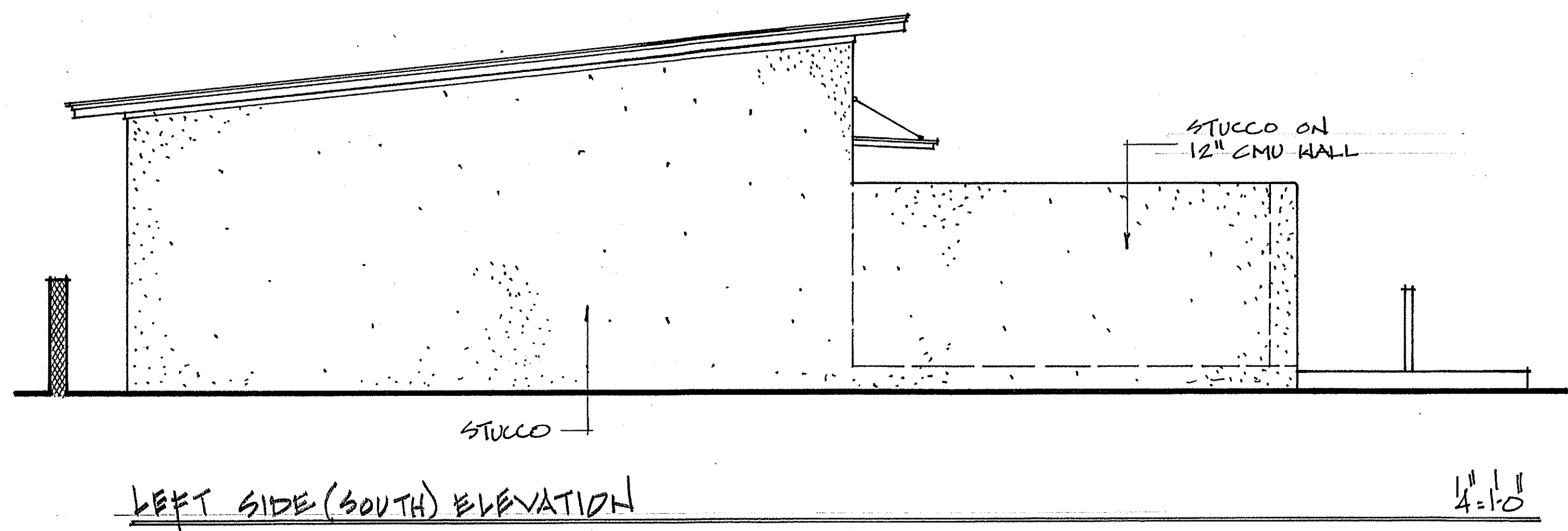
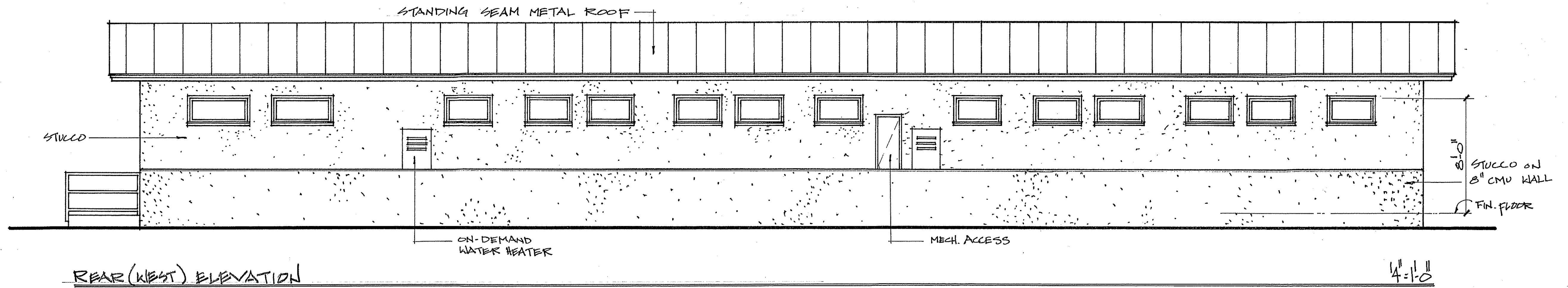
**COMMUNITY VISIONING/STRATEGIC INITIATIVES:**

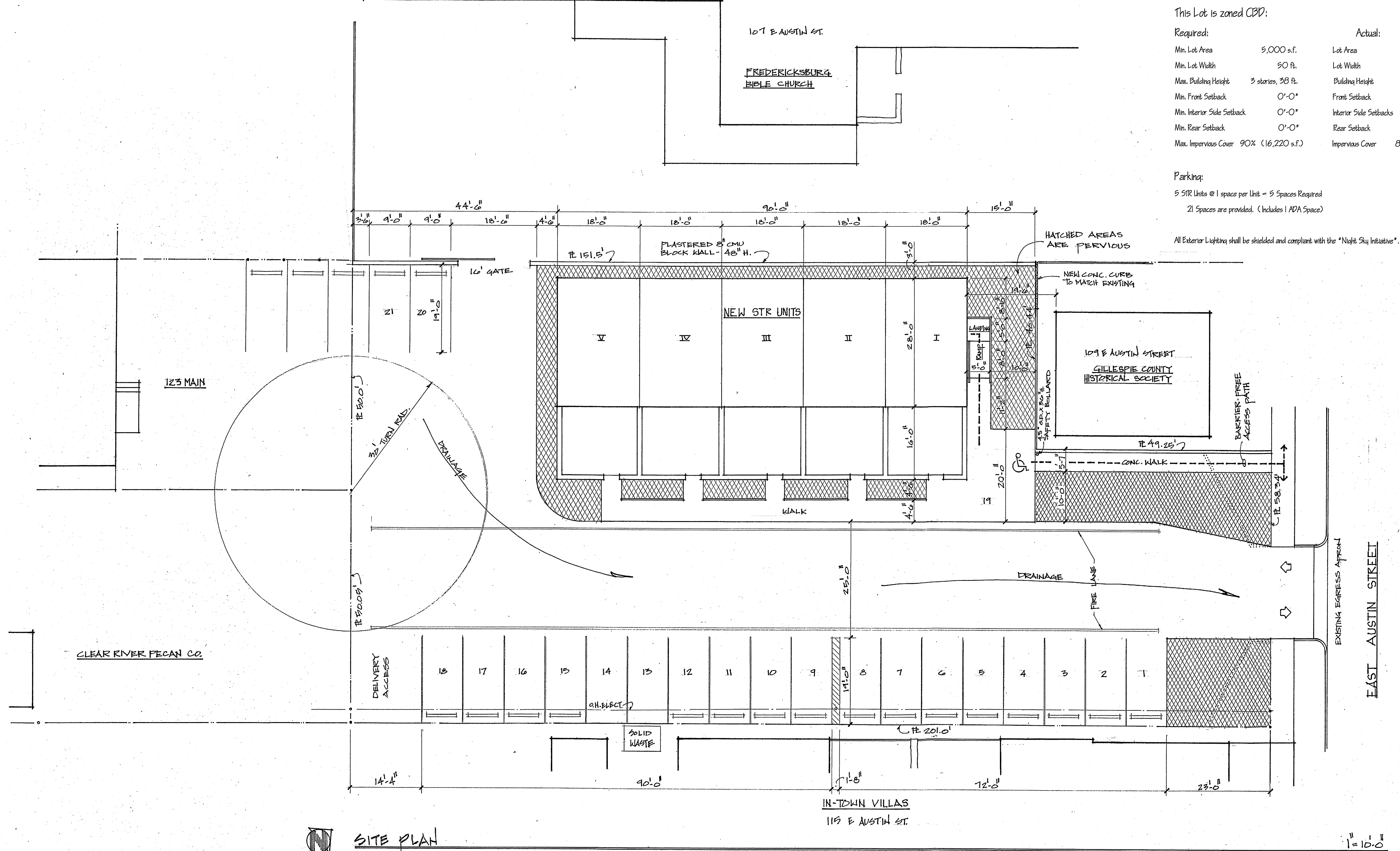
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**ATTACHMENTS:**

1. 111 E Austin St Revised 6.16.23
2. 111 E AUSTIN
3. Z-2314 CUP Narrative
4. Z-2314 Public Hearing Map
5. Sec. 5.460. - CUP Review and Evaluation Criteria.
6. Notice of Action Application #23-140 Approved COA
7. Z-2314 Project Application and Checklist

**APPROVAL/REVIEW:**





**SITE PLAN**

111 EAST AUSTIN STREET  
0.640 AC. OF TOWNLOT NO. 93  
CITY OF FREDERICKSBURG  
GILLESPIE COUNTY, TEXAS

This Lot is zoned CBD:

| Required:                  |                   | Actual:                |                   |
|----------------------------|-------------------|------------------------|-------------------|
| Min. Lot Area              | 5,000 s.f.        | Lot Area               | 18,023 s.f.       |
| Min. Lot Width             | 50 ft.            | Lot Width              | 100 ft.           |
| Max. Building Height       | 3 stories, 38 ft. | Building Height        | 14'-8"            |
| Min. Front Setback         | 0'-0"             | Front Setback          | 64'-3"            |
| Min. Interior Side Setback | 0'-0"             | Interior Side Setbacks | 3'-0" & 53'-0"    |
| Min. Rear Setback          | 0'-0"             | Rear Setback           | 44'-6"            |
| Max. Impervious Cover      | 90% (16,220 s.f.) | Impervious Cover       | 88% (15,817 s.f.) |

**Parking:**

5 STR Units @ 1 space per Unit = 5 Spaces Required  
21 Spaces are provided. (Includes 1 ADA Space)

All Exterior Lighting shall be shielded and compliant with the "Night Sky Initiative".

W. CASS PHILLIPS  
PLANNING & DESIGN  
10001  
cphillips10001@gmail.com  
C 800.997.0169 H 530.997.6726

5.24.2023  
REVISED 6.16.2023

"IN-TOWN VILLAS" @ 111 E AUSTIN STREET FOR  
THE SCULLY TRUST

1 OF 1



June 12, 2023

Jim Carpenter  
[jcarpenter5@austin.rr.com](mailto:jcarpenter5@austin.rr.com)

**RE: Z-2314, Review Comments for Site Plan/CUP Review for a 5-unit STR-Facility located at 111 East Austin St.**

Dear Mr. Carpenter,

Please review the following comments and address appropriately. Please provide a written response as to how the items are addressed in addition to the revised Plan.

Plans will not be reviewed or considered without a response sheet.

**Development:**

- The Site Plan requires Planning and Zoning Approval, tentatively scheduled for July 5, 2023.
- Provide a note regarding all exterior lighting shall by night sky compliant. Provide the requested fixture type **Article XV- Outdoor Lighting - Site Plan Checklist**
- Provide a Landscape and Screening Plan per **Sec. 7.920 - 7.980**. To include calculation of all required landscaping onsite. **Site Plan Checklist**
- Provide a Parking Calculation based on the proposed uses. **Sec. 7.863**
- Please clarify who parking is provided for and provide a parking agreement if necessary.
- Clarify if the development intends to provide Hot tubs as they have a Setback requirement found in **Sec. 7.330** and **Sec. 7.340**
- Provide the location of solid waste containers, which must be screened. **Sec. 7.131** and **Sec. 7.980**
- Does the development plan to provide an ADA/TAS accessible unit?
- Development shall comply with the City's stormwater control ordinance. Runoff from the proposed rooftops should not spill over to the neighboring property but be conveyed to the street through the site.

**The City of Fredericksburg**

126 W. Main St. • Fredericksburg, Texas 78624-3708 • (830) 997-7521 • Fax (830) 997-1861

- Utility service to the units will be a single water and sewer tap installed by the developer.
- Civil Construction Plan Review is required.
- The new units will need to be sprinkled.

Please feel free to contact me with any comments or questions, and I will be happy to assist you. Please return the revised plan along with your written response as to how the comments have been addressed by Wednesday, June 21<sup>st</sup> to ensure consideration by the Planning and Zoning Commission on Wednesday, July 5<sup>th</sup>.

**Shelby  
Collier**

Digitally signed by Shelby  
Collier  
DN: cn=Shelby Collier, o=City of  
Fredericksburg, ou,  
email=scollier@fbgix.org, c=US  
Date: 2023.06.13 15:27:21  
+05'00'

Shelby Collier, Associate Planner  
Development Review Committee (DRC)

**The City of Fredericksburg**  
126 W. Main St. • Fredericksburg, Texas 78624-3708 • (830) 997-7521 • Fax (830) 997-1861



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Shelby Collier,

Please see below my response to the comments made for the site plan/CUP narrative:

- Cass Phillips will attend this meeting on behalf of the D & E Scully Trust/Dan Scully.
- Light fixture on front doors will have covered top fixture for each unit.
- Site plan shows enclosed courtyard and fencing in front with picture. Landscaping will be depicted on site plan after approval. All landscaping and trees will be as per site plan and green areas. (7.920 – 7.980)
- ADA parking space is designated on the site plan for unit 1 (parking space #19). Parking to the east will be for units 2, 3, 4, & 5 (parking spaces # 9, 10, 11, &12) in accordance with a calculation provided by 7.863.
- In the location of the signs in chapter 29, a duplication of signs same as 115 villas will be designated in green space.
- Waste container for all villa units is located on the east side of parking lot 13. (7.131 & 7.980)
- The hot tubs will be in the front of the units and therefore satisfying 7.330 and 7.340.
- Unit 7 is ADA compliant as per the site plan.
- Existing curb against the historical building is in place now to hold water back. Our plan is to increase the curb line and protect the corner spots of the historical building which will allow water to flow to the end of the street. Note, as per request from the city, we have allowed for an 11 ft setback between our property line and historical building. A civil construction plan will be developed once we discover where the water and sewer lines are located and that plan will specify how we will control the water runoff. It does well to note that currently the water does not affect the historical property. Our new condition is that we will improve the curbing area to control the water flow away from the historical building.
- Yes, all 5 units will have fire suppression devices (sprinklers) in all rooms.

Thank you,  
Dan Scully  
(805) 444-2888

Hi Shelby,

Please see my response to the CUP narrative.

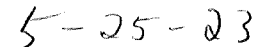
Subject: The improvement of the property to the rear of 132 E Main Street ("The Project") which faces on Austin street with a yet to be determined new address.

1. The project conforms with all applicable regulations and standards established by the zoning regulations.
2. It is compatible with existing uses on abutting sites in that the continuous property at 115 Austin Street is 5 similar bed and breakfast units. All aspects of the setbacks, open spaces, landscaping, and site development including access and circulation are depicted in the enclosed drawings. It is important to note that this project has voluntarily agreed to place the project 15 feet from the existing historical building's rear property line.
3. There are no potentially unfavorable affects or impacts on other existing or permitted uses on abutting sites.
4. The property has more than adequate parking for the project (23 spaces) as well as providing a turning radius of 30 feet. The maximum number of cars is not expected to exceed 5.
5. The grade levels, as per the plan that has been submitted, are designed to accommodate proper drainage.
6. The units will have exterior lighting in front of each of the 5 units as well as signs designating the parking areas for the guest vehicles.
7. The property on which the project is situated has 23 parking spaces, which is more than adequate for the 5 units and also provides a turning radius of 30 feet for deliveries.
8. The project is located in the central business district and is a commercial use.
9. The use does comply with each of the applicable provisions of the zoning regulations.
10. The use and the site development, together with the modifications, are compatible with existing and permitted uses in the vicinity. It does well to note that the continuous property has the same use.
11. The project is 100% compatible with and does not in anyway create unfavorable impacts on, nearby uses or existing uses in the same district and the surrounding area.
12. The proposed use together, with the conditions applicable thereto, are not detrimental to the public health, safety or welfare and are in no way injurious to properties or improvements in the vicinity.



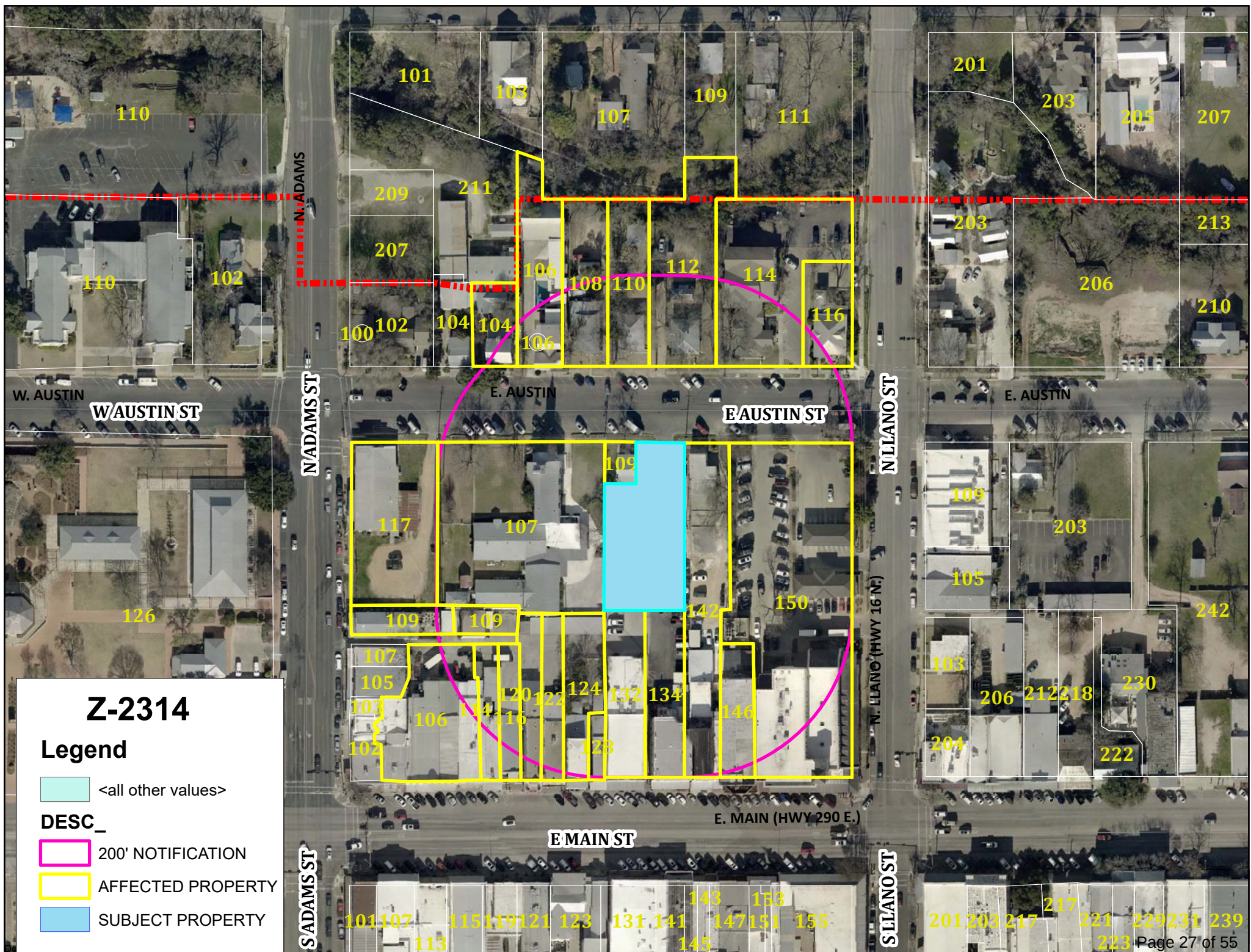
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Owner - Dan Scully



---

Date



# Z-2314

## Legend

- <all other values>
- DESC\_**
- 200' NOTIFICATION
- AFFECTED PROPERTY
- SUBJECT PROPERTY

---

## **Sec. 5.460. Review and Evaluation Criteria.**

The Planning and Zoning Commission and City Council shall review and evaluate Conditional Use Permit applications using the following criteria:

- 1 Conformance with applicable regulations and standards established by the Zoning Regulations.
- 2 Compatibility with existing or permitted uses on abutting sites, in terms of building height, bulk and scale, setbacks and open spaces, landscaping and site development, access and circulation features.
- 3 Potentially unfavorable affects or impacts on other existing or permitted uses on abutting sites, to the extent such impacts exceed those which reasonably may result from use of the site for a permitted use.
- 4 Modifications (including variance from property development regulations) to the site plan which would result in increased compatibility, would mitigate potentially unfavorable impacts, would be necessary to conform to applicable regulations and standards and would protect the public health, safety, morals and general welfare.
- 5 Safety and convenience of vehicular and pedestrian circulation in the vicinity, including traffic reasonably expected to be generated by the proposed use and other uses reasonable and anticipated in the area; existing zoning and land uses in the area.
- 6 Protection of persons and property from erosion, flood or water damage, fire, noise, glare and similar hazards and impacts.
- 7 Location, lighting, and type of signs; the relation of signs to traffic control and adverse effect of signs on adjacent properties.
- 8 Adequacy and convenience of off-street parking and loading facilities.
- 9 Determination that the proposed use is in accordance with the objectives of these Zoning Regulations and the purposes of the zone in which the site is located.
- 10 Determination that the proposed use will comply with each of the applicable provisions of these Zoning Regulations.
- 11 Determination that the proposed use and site development, together with any modifications applicable thereto, will be compatible with existing or permitted uses in the vicinity.
- 12 Determination that any conditions applicable to approval are the minimum necessary to minimize potentially unfavorable impacts on nearby uses and to ensure compatibility of the proposed use with existing or permitted uses in the same district and the surrounding area.
- 13 Determination that the proposed use, together with the conditions applicable thereto, will not be detrimental to the public health, safety, or welfare or materially injurious to properties or improvements in the vicinity.



Applicant

Jim Carpenter

Case Number

#23-140

Location

111 E. Austin

## NOTICE OF ACTION

### YOUR APPLICATION FOR:

- ☐ LAND USE CHANGE
- ☐ RE-ZONING
- ☐ ENTRY CORRIDOR DESIGN GUIDELINES
- ☐ VARIANCE
- ☐ PRELIMINARY PLAT
- ☒ CERTIFICATE OF APPROPRIATENESS

### HISTORIC REVIEW BOARD ACTION:

- ☒ APPROVAL
- ☐ DISAPPROVAL

ON DATE: June 13, 2023

### CITY COUNCIL ACTION:

- ☐ APPROVAL
- ☐ DISAPPROVAL

ON DATE: \_\_\_\_\_

### CONDITIONS OF APPROVAL:

APPLICATION APPROVED CONDITIONED UPON CIVIL CONSTRUCTION PLAN APPROVAL,  
APPROVAL OF COLORS, WESTERN ELEVATIONS, AND PROTECTION FOR 109 E. AUSTIN.

Signed: \_\_\_\_\_  
Shelby Collier, Associate Planner

Date: 06/14/23

126 West Main Street- Fredericksburg, Texas 78624- 830-997-7521 - 830-997-1861 fax



## **HISTORIC REVIEW BOARD AGENDA MEMO**

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**DEPARTMENT:** Development Services  
**TO:** Historic Review Board  
**FROM:** Shelby Collier, Associate Planner  
**MEETING DATE:** June 13, 2023

**CATEGORY:** CERTIFICATE OF  
APPROPRIATENESS APPLICATIONS

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**CAPTION:** Application #23-140 - **111 E. Austin** - Jim Carpenter - New Construction of 5 STR Units.

---

### **PRESENTATION:**

#### **SUMMARY:**

The applicant is requesting a Certificate of Appropriateness to construct a single building, 4,000 sq ft in size, and is comprised of five (5) Short-Term Rental units on the western edge of the property, which is currently a parking lot. The project proposes ornamental fencing along the front of the units with a shed roof and stucco siding.

#### **BACKGROUND:**

**Application Number:** 23-140  
**Address:** 111 East Austin  
**Zoning:** [CBD](#)  
**Owner:** Dan E Scully Family Trust  
**Applicant:** Jim Carpenter  
**Rating:** Low

**Proposal:** The applicant is requesting a Certificate of Appropriateness to construct a single building comprised of five (5) Short-Term Rental units on the western edge of the property, which is currently a parking lot.

### **Relevant Sections Fredericksburg Historic District Design Guidelines/Standards:**

#### **3.4.1 - New Infill Construction - Lot Coverage**

The proposed development adds approximately 4,000 sq ft of building coverage to an existing paved parking lot. The proposal does not remove historical resources and is in line with the base zoning requirements. In addition, the new development is 19.6 feet from the High rated property located at

109 E. Austin. The minimum setback is 15 ft.

As the development is adding to an existing parking lot, there is ample parking to accommodate the project. However, Staff recommends using landscape to soften the visual impact of the large parking lot per Sec. 3.4.1.K - *Always use landscaping as a buffer between service areas/parking lots and streets or buildings, as well as to break up the visual effect of a parking lot – regardless of the location of the service area or parking lot.*

### **3.4.2.2 - Primary Buildings - New Commercial Construction**

Given the shape of the existing lot and its location behind the historic property located at 109 E. Austin, the project is unable to orient the structures facing the street as is required per Sec. 3.4.2.2. Rather, the proposal is to have the structures facing east, which allows the project to take advantage of the existing parking and provides an opportunity to highlight the pedestrian access to the units and neighboring commercial uses. The proposed height is in keeping with surrounding resources such as the historic church at 111 E. Austin.

The design is to match the previously approved Villas, located at 142 E. Main, and consists of ornamental fencing along the front of the units, stucco walls and a Shed roof.

As the project is proposing first-floor Short-Term Rental Units, a Conditional Use Permit (CUP) is required. The applicant has submitted the required application and is scheduled for the July 5th Planning and Zoning Meeting and July 18th City Council meeting.

### **FUNDING SOURCE:**

### **FINANCIAL IMPACT:**

### **STAFF RECOMMENDATION:**

The proposed new construction is in keeping with the Design Guidelines and is harmonious with existing developments on the neighboring site (142 East Main - The Villas). Staff recommends approval.

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### **COMMUNITY VISIONING/STRATEGIC INITIATIVES:**

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### **ATTACHMENTS:**

1. Z-2314 COA Application
2. Z-2314 Site Plan
3. Street View Photos

### **APPROVAL/REVIEW:**



# Certificate of Appropriateness Application

Required for all exterior modifications of properties in historic district or individual landmarks.

## City of Fredericksburg

126 W Main St. FBG, TX 78264

e-mail completed applications with required supporting documentation to [ahudson@fbgtx.org](mailto:ahudson@fbgtx.org)

Subject Property Address

Owner name:

D AND E SCULLY FAMILY TRUST

Date Submitted

5-20-23

Phone #

805-444-2888

Owner Address:

1701 PACIFIC AVE. OXNARD CA. 93033

Authorized Applicant:

JIM CARPENTER

Phone #

817-235-5023

Applicant certifies that he/she is the Owner or duly authorized agent for the owner of the property.

Applicant E-mail:

JCARPENTER5@AUSTW.RR.COM

Desired Start Date:

JULY 2023

Desired Completion Date:

DEC 2023

Please describe the scope of work. Include: materials to be used, how the project will impact the historic structure, and cleaning methods. How will proposed work be in keeping with the character of the property? Are there circumstances or financial hardships which may affect compliance with the ordinance? Submit sufficient description and support documentation so that the project can be understood without talking to you. (attach another sheet if necessary)

The property is currently a parking lot. We intend to construct a single building, comprised of five (5) STR units, on the Western edge of the property. The structure will be conventionally wood framed with a stucco finish and a standing seam metal roof. Each unit will have an Entry Court Yard with 12" thick x 7" high stucco C.M.U. walls. The balance of the property will remain parking for these new STR's, "123 Main" to the South and "In-Town Villas" to the East.

Attach supporting documentation in jpeg or pdf:

☐ paint color ☐ color photographs ☐ site plan

☐ elevations & floorplans ☐ material specifications. Applications are incomplete without sufficient documentation.

### Staff to complete

Application #

Year Built:

Eligible for Administrative Approval ☐ Yes ☐ No

Zoning:

Historic Review Board Meeting Date

Application Fee \$10 COA#

Survey Rating:

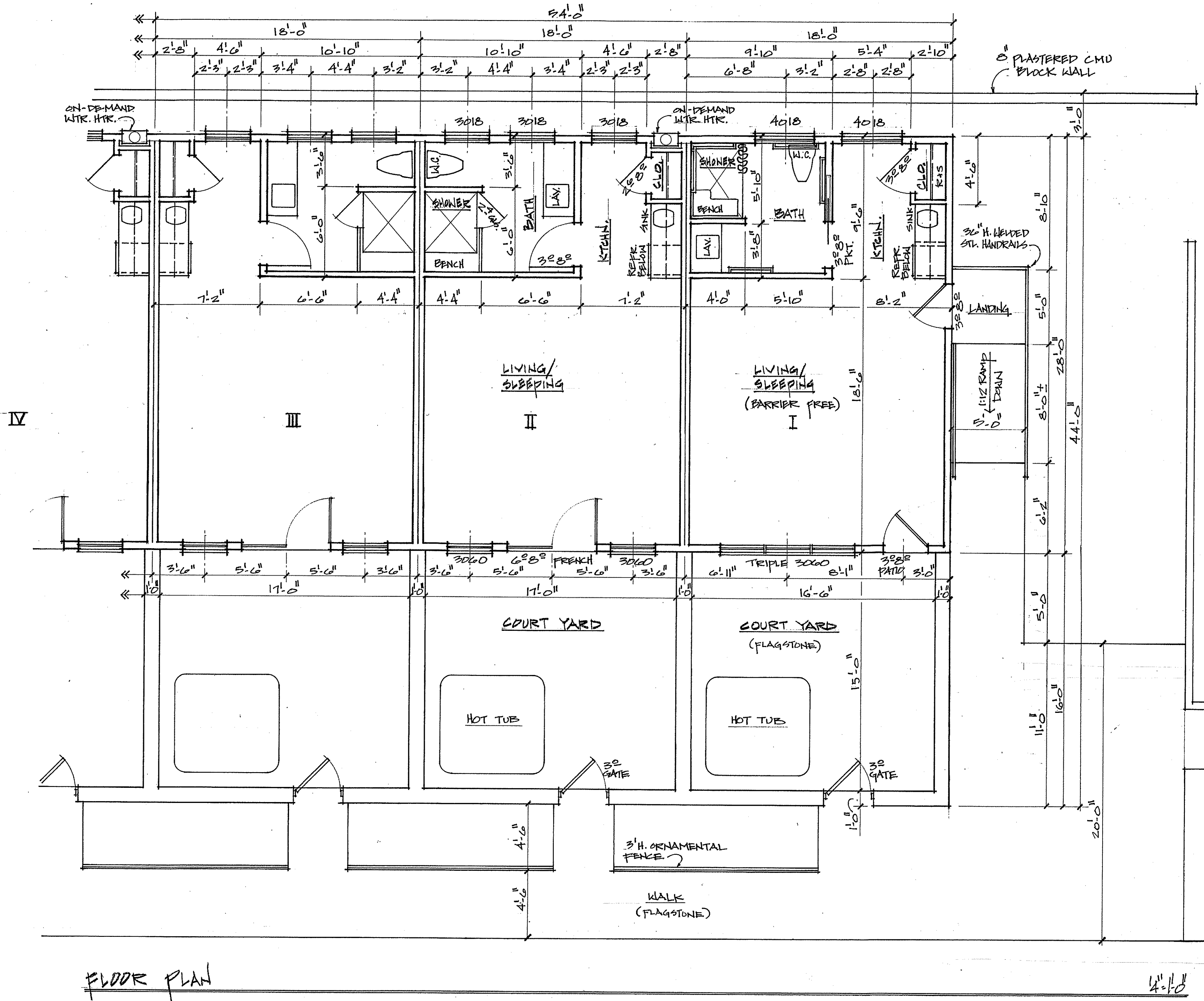
Medium

HRB Fee \$40 paid

Staff Comments regarding Administrative Approval:

Historic Preservation Officer Signature

Certificates of Appropriateness **MUST BE DISPLAYED** on site along with building permits and do not take the place of building permits.



W. CASS PHILLIPS  
PLANNING & DESIGN  
1000 HILL ST. FREDERICKSBURG, TX 78624  
cphillips1000hill@gmail.com  
C 830.987.0165 H 830.987.6736

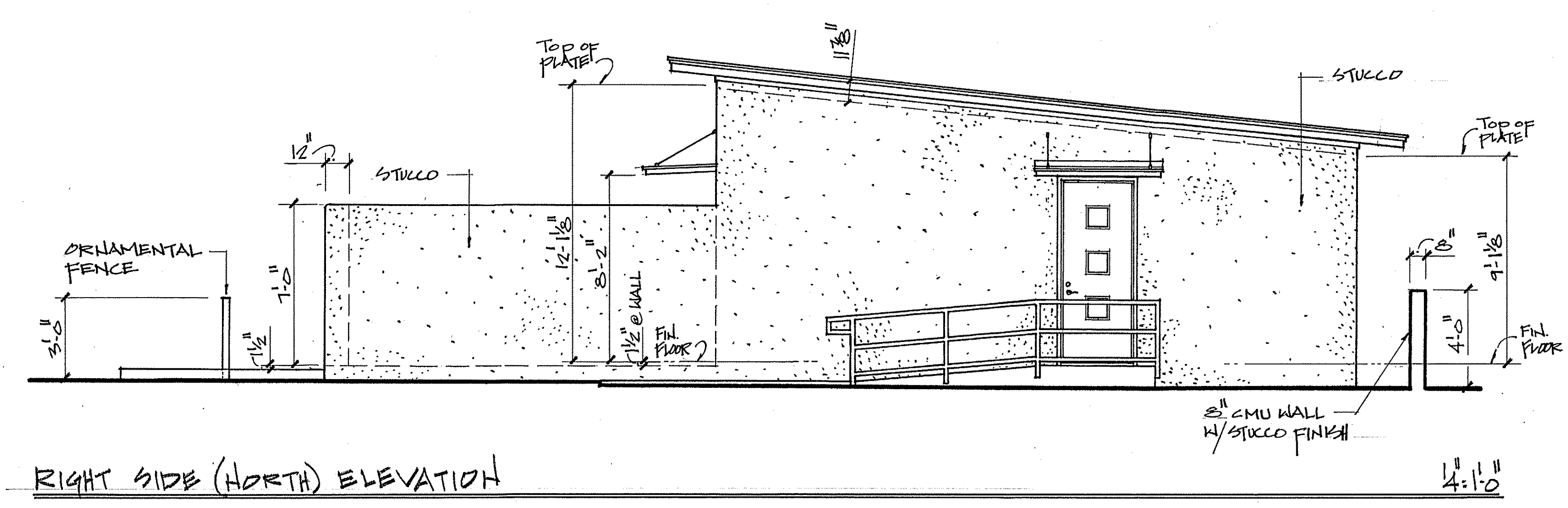
5.24.2023

"IN-TOWN VILLAS" @ 111 E AUSTIN STREET FOR  
THE SCULLY TRUST

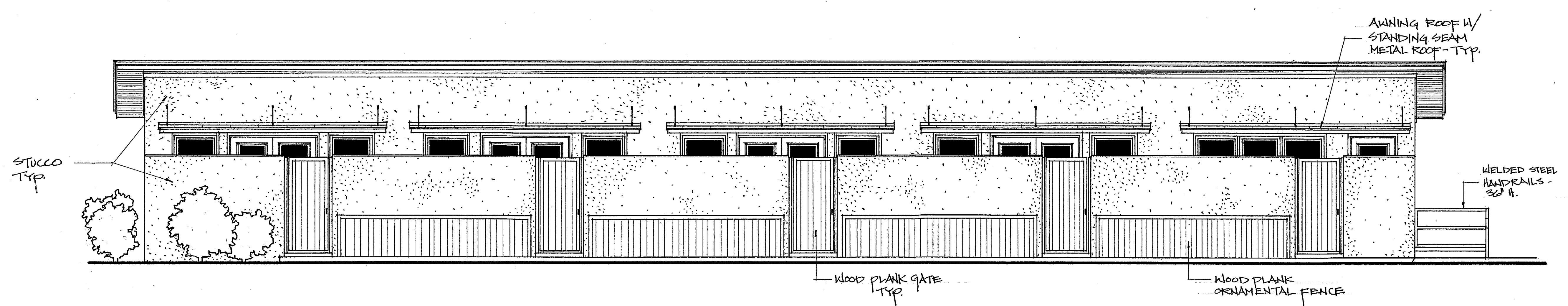
PRELIMINARY DRAFT #2  
1 OF 2

5.24.2023

PRELIMINARY DRAFT #1  
2 OF 2  
"IN-TOWN VILLAS @ 111 E AUSTIN STREET FOR THE SCULPT TRUST"



RIGHT SIDE (NORTH) ELEVATION

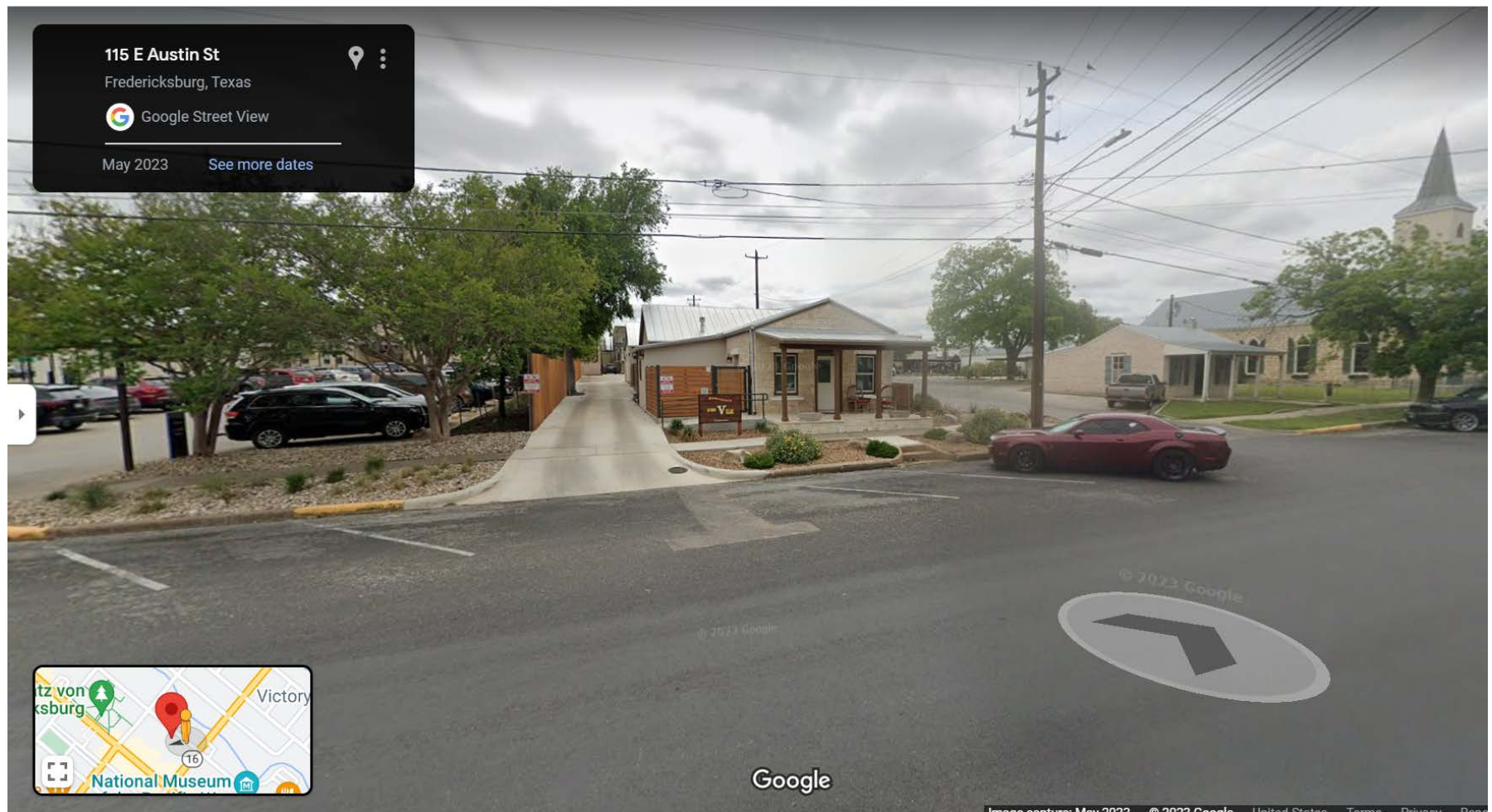


FRONT (EAST) ELEVATION





**East Austin Street 109 East Austin**



**The Villas neighboring 111 East Austin**



# Project Application

City of Fredericksburg - Development Services Department  
126 W. Main St., Fredericksburg, TX 78624 – (830)997-7521

## A. Project Information (Please complete all items.)

Project Name: IN TOWN VILLAS

Project Address:

Tax ID Number (s):

### Application Type (Check all items that apply.)

- ☒ Conditional Use Permit  
☐ Land Use Plan Change  
☐ Zoning Change  
☐ Annexation\*

- ☐ Minor Plat\*  
☐ Replat\*  
☐ Amending Plat\*  
☐ Preliminary Plat\*  
☐ Final Plat\*

- ☐ Site Plan  
☐ Entry Corridor Design  
☐ Civil Construction Plans

Jurisdiction: ☒ City Limits ☐ ETJ

Total Acres:

No. of Lots:

Original Survey & Abstract No:

Legal Description:

Current Land Use Plan:

Proposed Land Use Plan:

Current Zoning:

Proposed Zoning:

Location:

Proposed Use(s):

### Applicant's Signature

Applicant's Role: ☒ Owner ☐ Developer ☐ Other (note role):

I hereby certify that the information supplied with this application is true and correct, and that the paper and electronic copies of the materials submitted are consistent with each other, to the best of my knowledge. I also certify I have authorization from the owner to act on his / her behalf.

Signature: [Signature]

Printed Name: DAN SCULLY

Date: 5-20-23

### Staff Use Only

Application No.: Z-2314

Date: 05/25/23

\*Copy of current Title Search required with application.

CK#3090 \$ 400.00



## Project Application

City of Fredericksburg - Development Services Department  
126 W. Main St., Fredericksburg, TX 78624 - (830)997-7521

### B. Contact Information (Please complete all items.)

#### I. Property Owners

Firm Name (if applicable):

Owner Name: DAN SCULLY

Address: 1701 PACIFIC AVE. OXNARD, CA. 93033

Phone: 805-444-2888 Fax:

Email: DAN@SCULLYLEATHER.COM

#### II. Owner's Agent/Engineer/Surveyor (Main contact person responsible for application)

Role: ☒ Agent ☐ Engineer ☐ Surveyor ☐ Other (note role):

Firm Name (if applicable): JIM CARPENTER

Address: 146 E. MAIN FBG. TX.

Primary Contact Name: JIM CARPENTER

Phone: 817-235-5023 Fax:

Email: JCARPENTER57@AUSTIN.TX.COM

Secondary Contact Name: DAN SCULLY

Phone: 805-444-2888 Fax:

Email: DAN@SCULLYLEATHER.COM

### C. Fee Schedule (Please attach appropriate fee to application.)

- ☒ Conditional Use Permit Application - \$400
- ☐ Site Plan Application Admin - \$300
- ☐ Site Plan Application P&Z - \$400
- ☐ Entry Corridor Design - \$100
- ☐ Application for Zoning Change - \$400
- ☐ Application for Land Use Change - \$300
- ☐ Minor Plat - \$300
- ☐ Replat - \$300 plus \$20 per lot
- ☐ Amending Plat - \$200
- ☐ Preliminary Plat - \$400 plus \$20 per lot
- ☐ Final Plat - \$500 plus \$10 per lot

### D. Recording Fee Schedule

For plats, a recording fee will be collected when mylars are presented. The check should be made payable to Gillespie County Clerk and the recording fees are \$121.00 plus \$10.00 per lot.



## **PLANNING AND ZONING COMMISSION** **AGENDA MEMO**

**DEPARTMENT:** Development Services  
**TO:** Planning and Zoning Commission  
**FROM:** Shelby Collier, Associate Planner  
**MEETING DATE:** July 5, 2023

**CATEGORY:** OTHER ACTION ITEMS

**CAPTION:** CONSIDER SP-2307 - SITE PLAN AND ENTRY CORRIDOR REVIEW FOR STR-FACILITY COMPLEX THAT INCLUDES A TASTING ROOM AND OFFICE USE FOR PROPERTY LOCATED AT 715 S WASHINGTON.

### **PRESENTATION:**

#### **SUMMARY:**

The applicant is requesting approval for the Site Plan and Entry Corridor review for a STR-Facility that includes 7 efficiency units and 1, 1-bedroom unit for a total of 8 STR units on site. The development will include approximately 1,890 sq ft of Professional Office space and 1,398 sq ft of Cocktail Lounge/Tasting Room space.

#### **BACKGROUND:**

The lot is currently vacant.

The application was reviewed for its conformity with Sec. 7.131 - Review and Evaluation Criteria for Site Plans and the Entry Corridor Design Guidelines and Standards.

##### **Zoning Section 32.10 Criteria:**

**Site Area:** 44,949 Square Feet (1.03 acres)

**Zoning:** C2, Commercial

**Building Coverage:** 18% (8,028 sq ft) (75% maximum)

**Impervious Coverage:** 59% (26,500 sq ft) (80% maximum)

**Height:** 1 Story (25') Max Building Height 38' Sec. 7.863

**Parking:** 26 spaces provided

Professional Office requires 1 space per 400 sq ft, gross = 1890 for a total of 5 spaces.

Cocktail Lounge requires 1 space per 3 occupants, gross = 27 seating capacity for a total of 9 spaces. STR-Facility requires

60% of permitted occupancy for a total of 11 spaces.

**Signage:** Is proposed on the office building only. No monument or Integrated Business signage proposed at this time.

**Access:** An approved TXDOT driveway permit for the project will be required for the release of Civil Construction Plans. Utilities: are available to serve the property and will be reviewed as part of the Civil Construction Plans.

**Detention:** Stormwater detention plans & studies shall be reviewed as part of the Civil Construction Plans. Sec. 7.920

**Landscape:** One (1) tree per 75 LF required. Off-street parking shall have ten (10) sq ft of interior landscaping for each parking space. A strip of land at least five (5) in depth located between the abutting right-of-way and the off-street parking areas or other vehicular use area which is exposed to an abutting right-of-way shall be landscaped and include one (1) tree for each fifty (50) lineal feet. In addition, a hedge, wall, or other durable landscape barrier of at least two (2) feet in height shall be placed along the perimeter.

**Entry Corridor:** The building faces Hwy 87 with parking on the side. The development is proposing a sidewalk for

pedestrian access along the South Hwy 87 frontage. The materials and architectural style meet the requirements. Two trees will need to be added to the parking area in front of the tasting room to comply with Parking/Access 12.5

**FUNDING SOURCE:**

**FINANCIAL IMPACT:**

**STAFF RECOMMENDATION:**

The proposed use of the property as a STR-Facility, Tasting Room and Office is appropriate given the surrounding uses and existing zoning. The uses to the south include a vacant lot and a hotel with a mix of office uses to the north. The rear property line to the east abuts a warehouse/office facility and to the west, across HWY 87 South, is the Alon station.

Staff recommends approval of the Site Plan with the following conditions:

Approved Final Plat (property has never been plated)

Approved Addressing Plan

Approved Landscape Plan

Approved Civil Construction Plans

Approved TXDOT Driveway Permit

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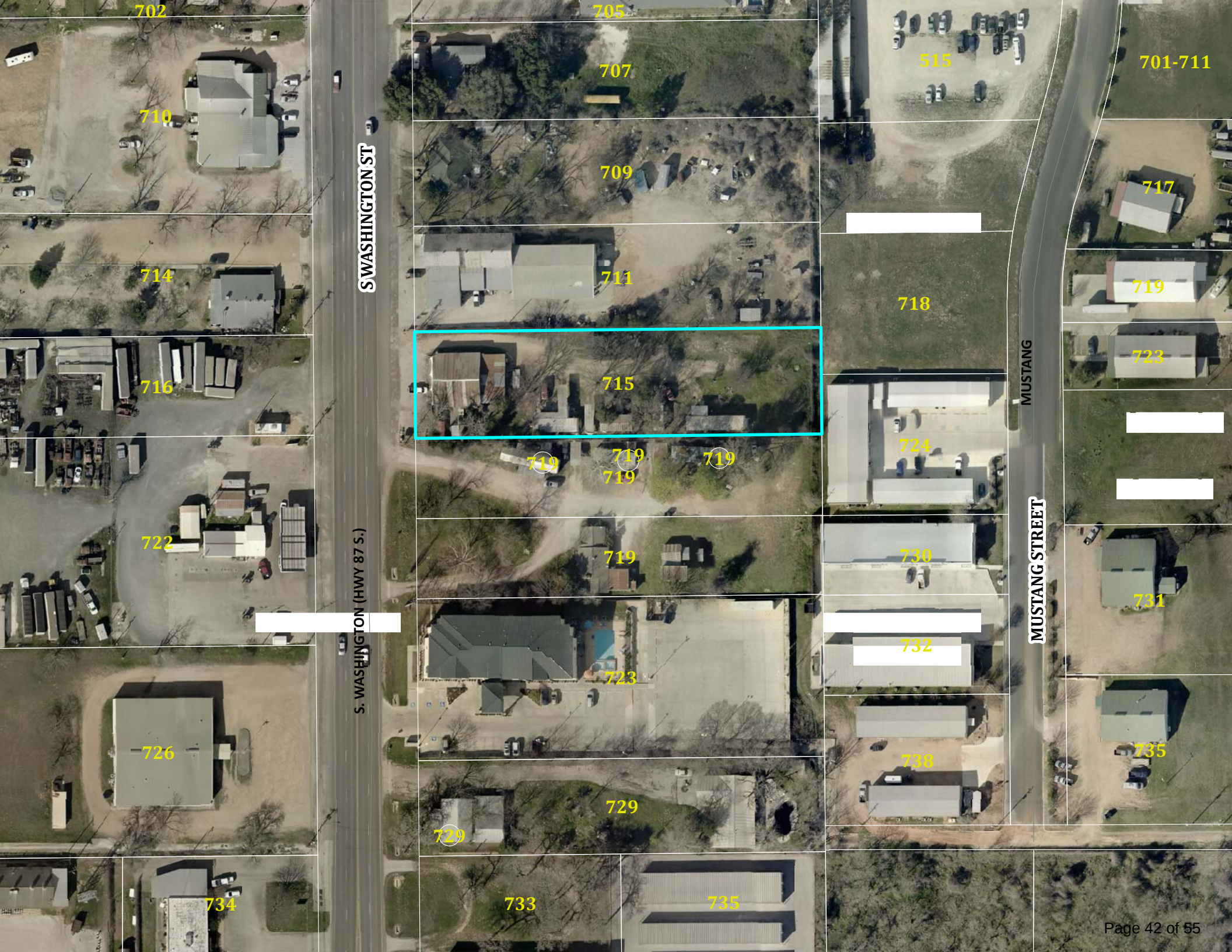
**COMMUNITY VISIONING/STRATEGIC INITIATIVES:**

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**ATTACHMENTS:**

1. Location Map
2. SP-2307 Revised Site Plan
3. Floor plan 6-15-2023
4. Entry Corridor Renderings
5. SP-2307 Response to Comments
6. Sec. 7.131. Review and Evaluation Criteria. (1)
7. SP-2307 Project Application

**APPROVAL/REVIEW:**



SWASHINGTON ST

S. WASHINGTON (HWY 87 S.)

MUSTANG

MUSTANG STREET



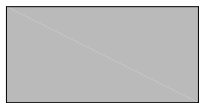
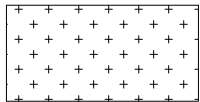
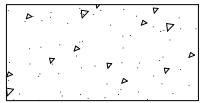
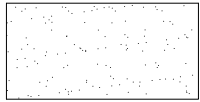
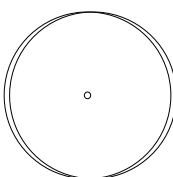
THESE DOCUMENTS ARE  
FOR INTERIM REVIEW AND  
ARE NOT INTENDED FOR  
CONSTRUCTION, BIDDING  
OR PERMIT PURPOSES  
BRANDON WEINHEIMER  
PROJECT ARCHITECT  
NUMBER 24171

715 S. WASHINGTON

ARCHITECTURAL SITE PLAN

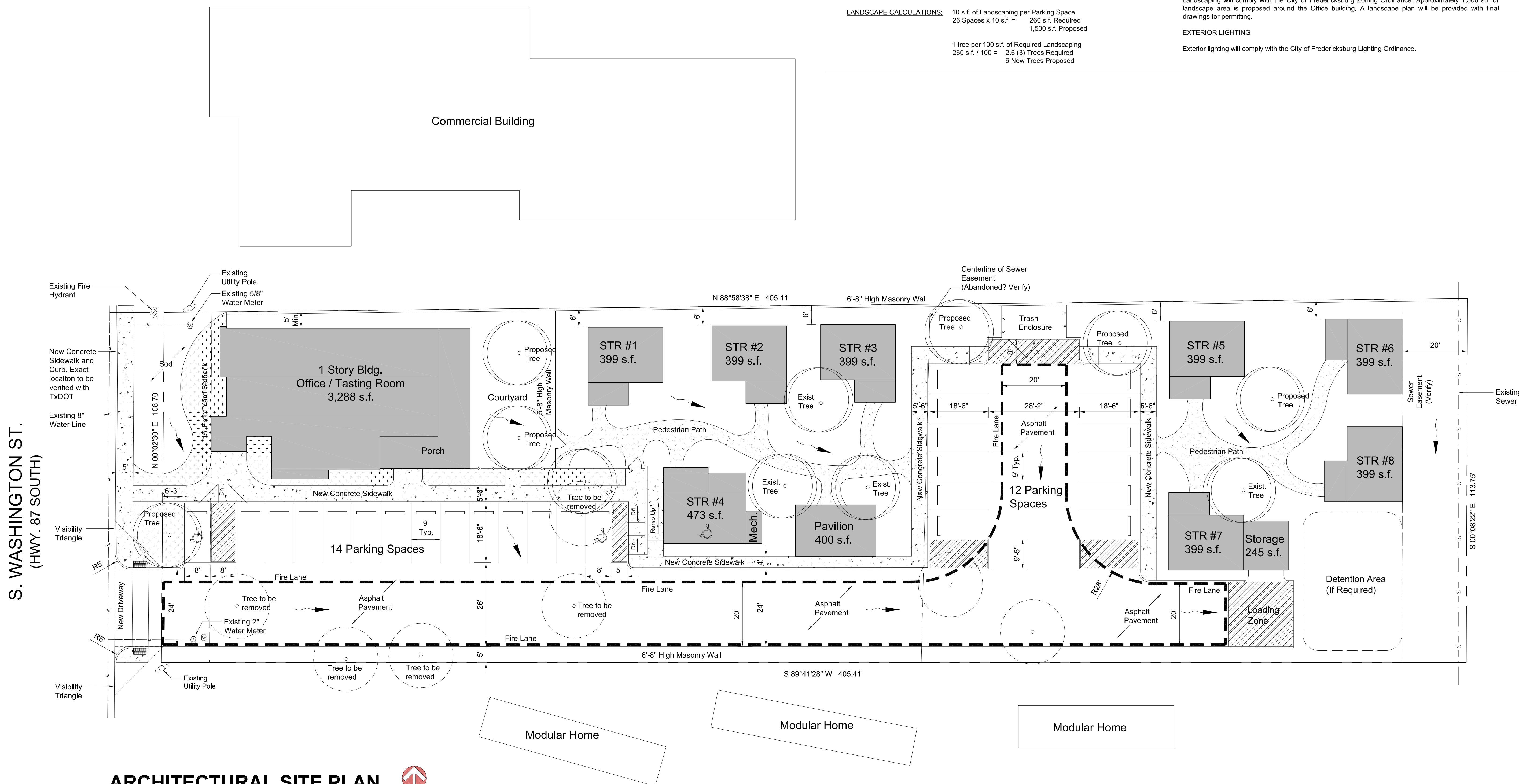
## A1.0

Page 43 of 5

| LEGEND                                                                            |                        |                                                                                                                                                                       |                        |
|-----------------------------------------------------------------------------------|------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------|
|  | NEW BUILDING           |  .  | PROPERTY LINE          |
|  | NEW LANDSCAPING        |                                                                                      | SETBACK OR EASEMENT    |
|  | NEW CONCRETE AS NOTED  |                                                                                      | FENCE AS NOTED         |
|  | NEW DECOMPOSED GRANITE |                                                                                      | FIRE LANE              |
|  | TREE AS NOTED          |                                                                                      | EXISTING UTILITY POLE  |
|                                                                                   |                        |                                                                                      | STORM WATER FLOW ARROW |

| PROJECT INFORMATION                                                                                                                                                                    |             |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |            |  |                       |             |         |       |                    |            |          |            |          |            |          |            |                      |  |  |          |                     |  |  |          |  |  |  |            |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------|--|-----------------------|-------------|---------|-------|--------------------|------------|----------|------------|----------|------------|----------|------------|----------------------|--|--|----------|---------------------|--|--|----------|--|--|--|------------|
| <b><u>PROPERTY OWNER</u></b><br><br>WINE COUNTRY REALTY, LLC<br>Kim Erwin, Manager<br>13357 Dasmarias<br>Corpus Christi, Texas 78418<br><br>Cell: 361-688-9509<br>kimerwincc@gmail.com |             | <b><u>BUILDING DATA :</u></b><br><br><table border="0"> <tr> <td>Office / Tasting Room</td> <td>Conditioned</td> <td>Porches</td> <td>Gross</td> </tr> <tr> <td>STR Units 1 thru 8</td> <td>2,627 S.F.</td> <td>713 S.F.</td> <td>3,340 S.F.</td> </tr> <tr> <td>Pavilion</td> <td>3,267 S.F.</td> <td>733 S.F.</td> <td>4,000 S.F.</td> </tr> <tr> <td>Storage / Mechanical</td> <td></td> <td></td> <td>400 S.F.</td> </tr> <tr> <td>Total Building Area</td> <td></td> <td></td> <td>288 S.F.</td> </tr> <tr> <td></td> <td></td> <td></td> <td>8,028 S.F.</td> </tr> </table> |            |  | Office / Tasting Room | Conditioned | Porches | Gross | STR Units 1 thru 8 | 2,627 S.F. | 713 S.F. | 3,340 S.F. | Pavilion | 3,267 S.F. | 733 S.F. | 4,000 S.F. | Storage / Mechanical |  |  | 400 S.F. | Total Building Area |  |  | 288 S.F. |  |  |  | 8,028 S.F. |
| Office / Tasting Room                                                                                                                                                                  | Conditioned | Porches                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           | Gross      |  |                       |             |         |       |                    |            |          |            |          |            |          |            |                      |  |  |          |                     |  |  |          |  |  |  |            |
| STR Units 1 thru 8                                                                                                                                                                     | 2,627 S.F.  | 713 S.F.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          | 3,340 S.F. |  |                       |             |         |       |                    |            |          |            |          |            |          |            |                      |  |  |          |                     |  |  |          |  |  |  |            |
| Pavilion                                                                                                                                                                               | 3,267 S.F.  | 733 S.F.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          | 4,000 S.F. |  |                       |             |         |       |                    |            |          |            |          |            |          |            |                      |  |  |          |                     |  |  |          |  |  |  |            |
| Storage / Mechanical                                                                                                                                                                   |             |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   | 400 S.F.   |  |                       |             |         |       |                    |            |          |            |          |            |          |            |                      |  |  |          |                     |  |  |          |  |  |  |            |
| Total Building Area                                                                                                                                                                    |             |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   | 288 S.F.   |  |                       |             |         |       |                    |            |          |            |          |            |          |            |                      |  |  |          |                     |  |  |          |  |  |  |            |
|                                                                                                                                                                                        |             |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   | 8,028 S.F. |  |                       |             |         |       |                    |            |          |            |          |            |          |            |                      |  |  |          |                     |  |  |          |  |  |  |            |
| <b><u>PROPERTY ADDRESS</u></b><br><br>715 South Washington St.<br>Fredericksburg, TX 78624                                                                                             |             | <b><u>PROJECT DESCRIPTION</u></b><br><br>The proposed development includes a one-story office building fronting Washington Street with wine tasting and courtyard at the rear of the building. 8 short-term rental cottages (STRs) will be located behind the office building with centralized courtyards. A new driveway is proposed along the south property line and will include the required off-site parking for all new structures.<br><br>All existing structures as shown on survey have been removed from the site to allow for new improvements.                       |            |  |                       |             |         |       |                    |            |          |            |          |            |          |            |                      |  |  |          |                     |  |  |          |  |  |  |            |

| SITE DEVELOPMENT NOTES    |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |           |  |         |                         |          |                  |                           |          |               |                                     |           |
|---------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------|--|---------|-------------------------|----------|------------------|---------------------------|----------|---------------|-------------------------------------|-----------|
| ZONING:                   | C2                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |           |  |         |                         |          |                  |                           |          |               |                                     |           |
| LOT SIZE (5,000 SF MIN.): | 44,949 s.f. (1.03 acres)                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |           |  |         |                         |          |                  |                           |          |               |                                     |           |
| SETBACKS:                 | 15' Front Yard<br>0' Interior Side Yard<br>0' Rear Yard                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |           |  |         |                         |          |                  |                           |          |               |                                     |           |
| RESIDENTIAL DENSITY:      | Seven Efficiency Units<br>7 x 1,600 s.f. = 11,200 s.f.<br>One 1 Bedroom Unit = 2,000 s.f.<br>13,200 s.f. of Site Area Required<br>44,949 s.f. Provided                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |           |  |         |                         |          |                  |                           |          |               |                                     |           |
| IMPERVIOUS COVERAGE:      | Proposed: 26,500 (59%)<br>Max. Allowed: 80%                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |           |  |         |                         |          |                  |                           |          |               |                                     |           |
| BUILDING COVERAGE:        | Proposed: 8,028 s.f. (18%)<br>Max. Allowed: 75%                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |           |  |         |                         |          |                  |                           |          |               |                                     |           |
| BUILDING HEIGHT:          | One Story, 25 feet<br>Max. Allowed = 3 Stories, 38 feet                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |           |  |         |                         |          |                  |                           |          |               |                                     |           |
| PARKING REQUIREMENTS:     | <table> <tr> <td>Office:</td><td>1890 s.f. gross / 400 =</td><td>5 Spaces</td></tr> <tr> <td>Cocktail Lounge:</td><td>27 seating capacity / 3 =</td><td>9 Spaces</td></tr> <tr> <td>STR Facility:</td><td>Total Occupancy = 18 people x 60% =</td><td>11 Spaces</td></tr> </table> <div>           Total Spaces Required: 25 spaces<br/>           Total Spaces Provided: 26 spaces         </div>                                                                                                                                                                                                                                                                                                                          |           |  | Office: | 1890 s.f. gross / 400 = | 5 Spaces | Cocktail Lounge: | 27 seating capacity / 3 = | 9 Spaces | STR Facility: | Total Occupancy = 18 people x 60% = | 11 Spaces |
| Office:                   | 1890 s.f. gross / 400 =                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | 5 Spaces  |  |         |                         |          |                  |                           |          |               |                                     |           |
| Cocktail Lounge:          | 27 seating capacity / 3 =                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   | 9 Spaces  |  |         |                         |          |                  |                           |          |               |                                     |           |
| STR Facility:             | Total Occupancy = 18 people x 60% =                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         | 11 Spaces |  |         |                         |          |                  |                           |          |               |                                     |           |
| LANDSCAPE CALCULATIONS:   | 10 s.f. of Landscaping per Parking Space<br>26 Spaces x 10 s.f. = 260 s.f. Required<br>1,500 s.f. Proposed<br><br>1 tree per 100 s.f. of Required Landscaping<br>260 s.f. / 100 = 2.6 (3) Trees Required<br>6 New Trees Proposed                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |           |  |         |                         |          |                  |                           |          |               |                                     |           |
| UTILITIES                 | Utility Plans will be provided by Civil Engineer and submitted with Architectural drawings for permitting.<br><br>The development will be served by an existing 2" water meter. Sewer will tie into existing line along the rear (east) property line. The sewer easement shown on the plan is assumed; a record search has been unable to confirm an easement.<br><br>Electrical service for the development will be accessed from an existing utility pole at the NW property corner and will be routed underground to pad-mounted transformer and Main Distribution Panel. Secondary power will be routed from the MDP to each building.<br><br>Gas will be accessed from S. Washington St. and routed to each STR unit. |           |  |         |                         |          |                  |                           |          |               |                                     |           |
| DRAINAGE                  | Grading and Drainage Plans and Calculations will be provided by the Civil Engineer and submitted with Architectural drawings for City of Fredericksburg and TxDOT permitting. Contours shown on the site plan are existing.<br><br>The site currently drains towards the SE corner. Proposed site improvements will maintain this drainage pattern. Drainage will either be 1.) detained at the SE corner (if grading conditions allow) or 2.) channeled to the regional detention pond located on Friendship Lane. Option 2 will require drainage easements from the properties between 715 S. Washington and the regional detention pond.                                                                                 |           |  |         |                         |          |                  |                           |          |               |                                     |           |
| FIRE PROTECTION           | A 20 ft wide minimum fire lane is proposed along the south side of the property with a "T" alternate turnaround. In addition, all STR units will be equipped with an NFPA 13D sprinkler system.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |           |  |         |                         |          |                  |                           |          |               |                                     |           |
| TREES / LANDSCAPING       | Landscaping will comply with the City of Fredericksburg Zoning Ordinance. Approximately 1,500 s.f. of landscape area is proposed around the office building. A landscape plan will be provided with final drawings for permitting.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |           |  |         |                         |          |                  |                           |          |               |                                     |           |
| EXTERIOR LIGHTING         | Exterior lighting will comply with the City of Fredericksburg Lighting Ordinance.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |           |  |         |                         |          |                  |                           |          |               |                                     |           |



## ARCHITECTURAL SITE PLAN

$$1/16'' = 1'-0''$$


FOR REGULATORY APPROVAL  
ONLY. NOT FOR CONSTRUCTION

PRELIMINARY

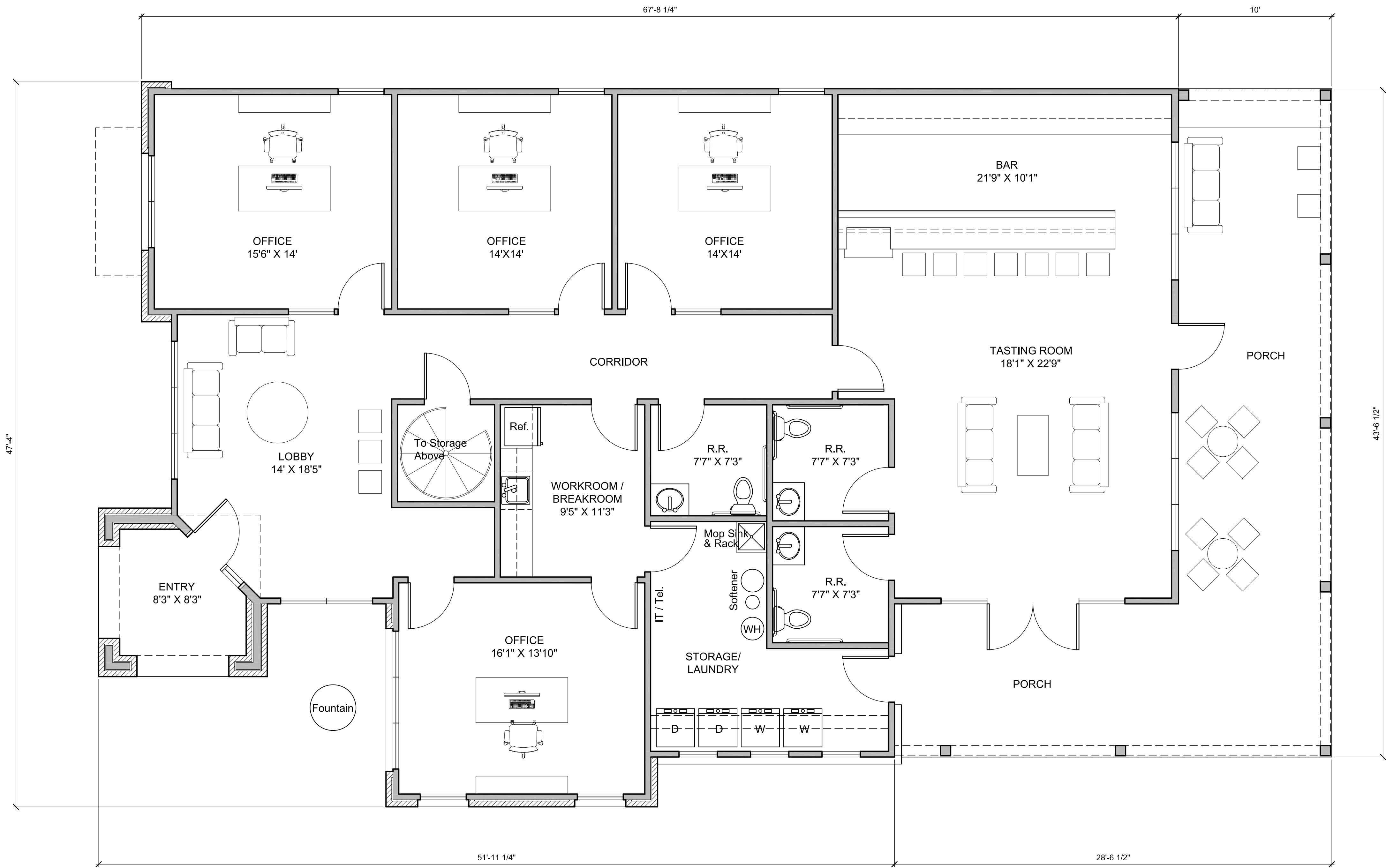
THESE DOCUMENTS ARE  
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CONSTRUCTION, BIDDING,  
OR PERMIT PURPOSES  
BRANDON WEINHEIMER  
PROJECT ARCHITECT  
NUMBER 24171

WINE COUNTRY REALTY  
715 S. WASHINGTON  
FREDERICKSBURG, TX

|           |         |
|-----------|---------|
| PROJECT # | 00-00   |
| DATE      | 6-15-23 |
| REVISION  |         |

FLOOR PLAN

A2.0



FLOOR PLAN  
OFFICE BUILDING / TASTING ROOM

1/4" = 1'-0"





## Attachment #1 – Response to Entry Corridor Design Standards/Guidelines

### Building Design

**1. Architectural Style** – The office building/tasting room and the accompanying short-term rentals are designed in the Texas Regional Style. The traditional forms and materials used are prominent in Fredericksburg and the surrounding Hill Country.

**2. Architectural Materials** – The office building/tasting room fronting Washington Street will be constructed of limestone, stucco, corrugated metal siding, synthetic or metal siding with a stained wood appearance, and standing seam roofs. The proposed materials are typical of Fredericksburg. The short-term rentals will use the same stone being applied to the office building/tasting room, with an additional application of painted lap siding to provide a more residential feel and add color.

**3. Architectural Color** – Influenced by the various warm color tones found in the Hill Country landscape, the office building/tasting room will have limestone, a light stucco to match, and warm wood siding and posts. The gray of the corrugated metal at the rear will contrast with the lighter tones of the stone and stucco, adding some visual interest. Since the metal siding will be applied to a more discreet part of the building it will not overwhelm the softer palette of the façade. The short-term rentals will share the warm stone for the main mass of each unit, but we are proposing varying shades of olive green for the applications of siding, to blend with the landscape and provide a tranquil setting.

**4. Architectural Features** – The most prominent architectural feature of the site will be a tower on the office building next to the building entry. It creates a focal point and serves as a way finder for those seeking the business from the highway. It will also help direct office clientele to the main entrance, avoiding unnecessary traffic further in the site. On the eastern end of the office building is a veranda, that brings some more modern, yet regional, design elements through the materials to the building. An open pavilion towards the center of the property helps create a central meeting point amongst the rear short term rental buildings.

**5. Massing and Scale** – All buildings on the site will be one story. The tower, though a taller element, helps create a visual hierarchy from the entry corridor. The various roof forms and building materials break up the massing. The veranda at the rear of the building creates added depth and provides a transitional yet functional space that complements both the building and the abutting courtyard.

**6. Signage** – Signage will be applied on the tower of the office building/tasting room located near the entry corridor for safe and convenient viewing. This sign will be lit in accordance with city lighting ordinances.

**7. Building Height** – Building heights are compliant with the City of Fredericksburg zoning ordinance and are in keeping with the surrounding context. The tower at the front of the office building/tasting room is the highest point on the site at 23'-0". The office building/tasting room otherwise is single story. All the short-term rentals at the back of the site will be single story not exceeding 16'-0" to the top of the ridge.

**8. Setbacks & Frontage** – The office building/tasting room is set at the 15'-0 front setback as required and will be consistent with surrounding sites. The building entry is oriented towards the entry corridor and the parking lot it serves.

## Site Design

**9. Landscaping** – Buildings will be dispersed throughout the site with connecting courtyards, landscaped with native plants. Some non-significant and unhealthy trees will be removed for the proposed driveway. Substantial trees will remain and worked into the proposed building layout. See site plan.

**10. Lighting** – Decorative lighting will be dispersed throughout the site to create safe passage in the evening from buildings to parking lot. All lighting will comply with city lighting ordinances.

**11. Service Areas** – Trash area located near the rear of the site, out of direct view from entry corridor. All HVAC and mechanical equipment will be installed behind or inside buildings to limit visibility.

**12. Parking & Access** – A new driveway will be constructed along the south property line. Parking is located to the side of the office building so that the view of the building from the highway is unobstructed. Parking for both the office building and short-term rentals will be ADA compliant. New trees will be planted near corners of parking areas. An accessible pedestrian path will be provided through the site and connect to a new public sidewalk along Washington Street.

**13. Drainage & Stormwater** – A detention area will be added to the site to account for all drainage and storm water if grading permits. Otherwise, drainage will be channeled to the nearby regional detention pond. Pervious pavement will be provided if required to reduce runoff resulting from added improvements.

**14. Streetscape** – A new curb and 5 ft wide sidewalk will be added along Washington Street ROW. An accessible path will connect to this sidewalk and extend through the property. Landscaping will be added between ROW sidewalk and office building to enhance curb appeal.

View from Washington Street

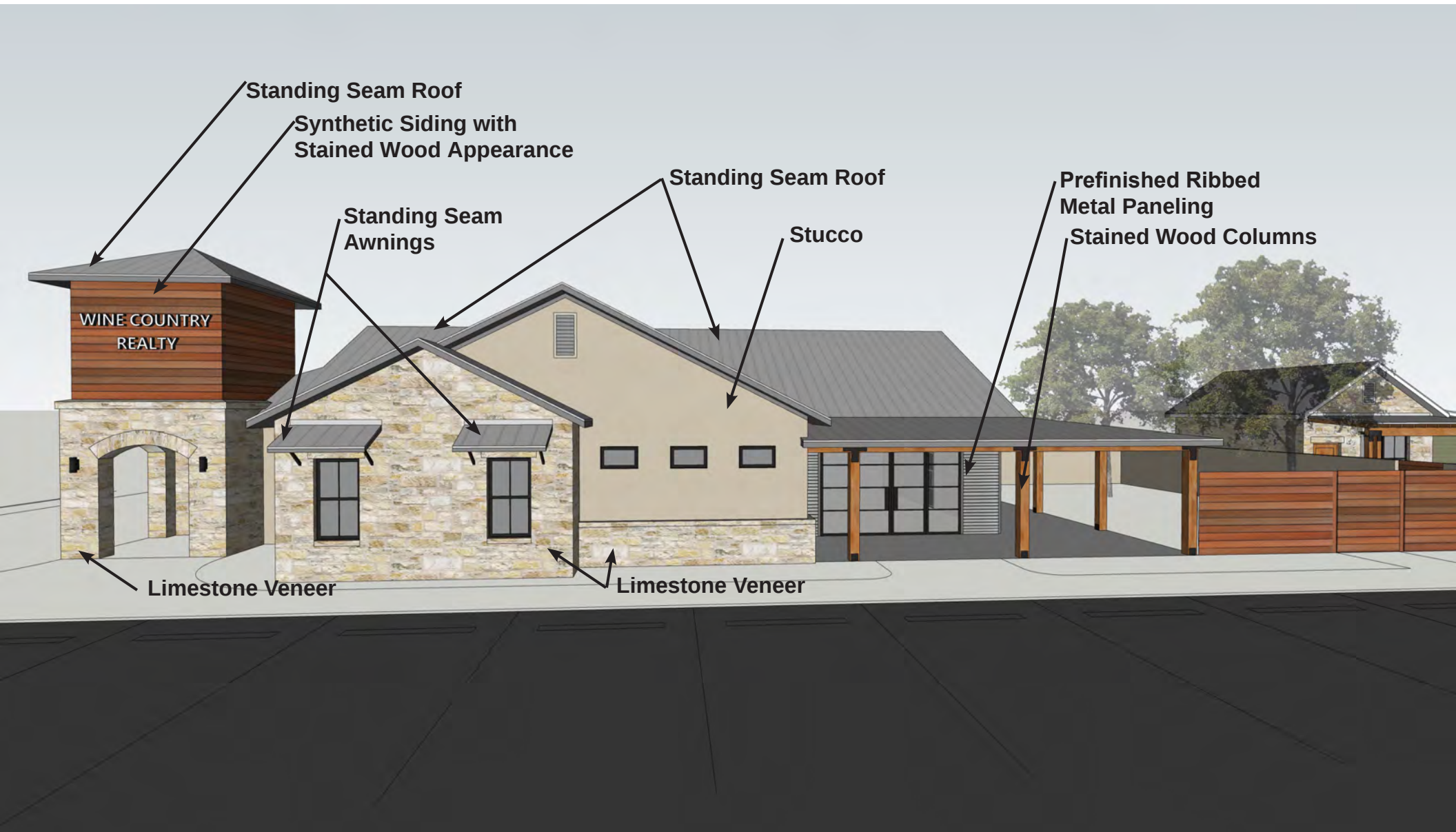


View from Washington Street



715 S Washington St.  
Design Concept  
June 2023

View from Parking Lot



715 S Washington St.  
Design Concept  
June 2023

Aerial View of Site





SKT Architects, PLLC  
300 West Main, Suite C  
Fredericksburg, Texas 78624  
830-997-0383 www.sktarchitects.com

June 28, 2023

City of Fredericksburg  
Attn: Shelby Collier, Assoc. Planner, DRC  
126 W. Main Street  
Fredericksburg, TX 78624

RE: Response to SP-2307, Review Comments for Site Plan and Entry Corridor Review for 715 S. Washington.

Dear Ms. Collier,

Please see responses to review comments below along with the revised site plan attached:

- The Site Plan requires Planning and Zoning Approval, tentatively scheduled for July 5, 2023.  
*Noted*
- The facility will be required to complete a plan review packet along with submitting a detailed floor plan of the food/beverage service area. The plan review fee is \$100 per property/ business.  
*Noted*
- Provide a note regarding all exterior lighting shall by night sky compliant. Provide the requested fixture type Article XV- Outdoor Lighting - Site Plan Checklist  
*This note is included in the Site Development Notes on the Site Plan. Exterior lighting will be night sky compliant (i.e., full cutoff or fully shielded). Proposed exterior fixtures will include wall sconces on office building and cottages and lamp posts on walking paths. Exact fixtures to be specified in construction drawings submitted for permitting.*
- The plan identifies 8 efficiency units; however, the size of the units is in excess of 400 sq ft as required per Sec. 2.100. The units need to be made smaller or identified as 1 bedroom, which will change the parking requirement.  
*7 units have been reduced in size to meet the 400 s.f. efficiency requirement. 1 unit is identified as 1 bedroom. Building area and parking calculations are revised in the attached site plan.*
- Is seating planned for the outdoor patio? If so, please identify the seating on the plan.  
*Seating is shown on the previously submitted floor plan.*

- Identify which unit is ADA/TAS compliant.  
*Unit #4 is TAS complaint. See attached site plan.*
- Please provide a location of loading facilities. Sec. 7.131& Sec. 11.1  
*Loading area shown on attached site plan.*
- Please provide the location of signage. Sec. 7.131  
*At this time, signage is proposed on the office building only. See proposed concept images included in Entry Corridor application.*
- Minimum of 4" diameter tree per 8 Parking spaces. Sec 12.5  
*26 parking spaces are provided. Three 4" diameter trees are required. 6 new trees are proposed.*
- Provide a Landscape and Screening Plan per Sec. 7.920 - 7.980. To include calculation of all required landscaping on site. Site Plan Checklist  
*A landscape plan will be submitted with final drawings for permitting.*
- Civil Construction Plans will be required.  
*Civil plans will be submitted for permitting.*
- Final Plat is required. Sec 4.05  
*A final plat will be provided.*
- An approved TXDOT driveway permit for the project will be required for the release of civil construction plans.  
*Noted*
- Provide ADA accessible route from designated ADA unit to the public sidewalk.  
*A TAS compliant sidewalk connects the public sidewalk to TAS compliant Unit #4. See revised site plan. Exact location of sidewalk and curb in TxDOT ROW to be verified with TxDOT.*
- The proposed detention area may not overlap the existing utility easement on the east end of the site.  
*Detention area revised so that it does not overlap easement. City to verify that both utility easements exist. The east utility easement, in particular, has not been located in records search.*
- Show stormwater flow arrows.  
*Included in revised site plan.*

Sincerely,



Brandon Weinheimer

---

### Sec. 7.131. Review and Evaluation Criteria.

The Planning and Zoning Commission and the Director of Planning and Building as advisor to the Planning and Zoning Commission shall review and evaluate site plans using the following criteria:

Conformity with applicable regulations and standards established by the Zoning Regulations.

External elements of the site plan compatibility with existing or permitted uses on abutting sites or within the area of the proposed development, and compatibility of the development of off site physical features including but not limited to the review of the following:

|                                              |                                           |
|----------------------------------------------|-------------------------------------------|
| Access and Circulation                       | Open Spaces                               |
| Adjacent street network                      | Planned or future development of the area |
| Buffers                                      | Public facilities                         |
| Building height, bulk, scale and orientation | Setbacks                                  |
| Landscaping                                  | Utilities                                 |

Internal elements of the site plan including but not limited to the following:

|                                                                                                                                       |                                                      |
|---------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------|
| Arrangements of Buildings, Usages and Access Management                                                                               | Parking Areas                                        |
| Drainage improvement/grading plan                                                                                                     | Permanence of use and availability of alternate uses |
| Driveways                                                                                                                             | Provisions for handicapped access                    |
| Elevation of view of any required or proposed screening; including height, materials, percent of screening, and transitional elements | Refuse collection                                    |
| Exterior lighting                                                                                                                     | Setback                                              |
| Fire hydrant location and spacing                                                                                                     | Sidewalks                                            |
| Landscaping and open space plan, with a description of types and quantity of plant materials to be used                               | Sight clearance at intersections/driveways           |
| Loading facilities                                                                                                                    | Size                                                 |
| Location height and design features on all signs                                                                                      | Vehicular and pedestrian circulation                 |
| Lot arrangements                                                                                                                      |                                                      |

Modifications to the site plan which would result in increased compatibility, or would mitigate potentially unfavorable impacts, or would be necessary to conform to applicable regulations and standards.



# Project Application

City of Fredericksburg - Development Services Department  
126 W. Main St., Fredericksburg, TX 78624 – (830)997-7521

## A. Project Information (Please complete all items.)

Project Name:

Project Address:

Tax ID Number (s):

### Application Type (Check all items that apply.)

- |                                                 |                                            |                                                   |
|-------------------------------------------------|--------------------------------------------|---------------------------------------------------|
| <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Minor Plat*       | <input type="checkbox"/> Site Plan                |
| <input type="checkbox"/> Land Use Plan Change   | <input type="checkbox"/> Replat*           | <input type="checkbox"/> Entry Corridor Design    |
| <input type="checkbox"/> Zoning Change          | <input type="checkbox"/> Amending Plat*    | <input type="checkbox"/> Civil Construction Plans |
| <input type="checkbox"/> Annexation*            | <input type="checkbox"/> Preliminary Plat* |                                                   |
|                                                 | <input type="checkbox"/> Final Plat*       |                                                   |

Jurisdiction: ☐ City Limits ☐ ETJ

Total Acres:

No. of Lots:

Original Survey & Abstract No:

Legal Description:

Current Land Use Plan:

Proposed Land Use Plan:

Current Zoning:

Proposed Zoning:

Location:

Proposed Use(s):

### Applicant's Signature

Applicant's Role: ☐ Owner ☐ Developer ☐ Other (note role): Architect

I hereby certify that the information supplied with this application is true and correct, and that the paper and electronic copies of the materials submitted are consistent with each other, to the best of my knowledge. I also certify I have authorization from the owner to act on his / her behalf.

Signature: \_\_\_\_\_

Printed Name: \_\_\_\_\_ Date: \_\_\_\_\_

### Staff Use Only

Application No.: \_\_\_\_\_ Date: \_\_\_\_\_

\*Copy of current Title Search required with application.



# Project Application

City of Fredericksburg - Development Services Department  
126 W. Main St., Fredericksburg, TX 78624 – (830)997-7521

## B. Contact Information (Please complete all items.)

### I. Property Owners

Firm Name (if applicable):

Owner Name:

Address:

Phone:

Fax:

Email:

### II. Owner's Agent/Engineer/Surveyor (Main contact person responsible for application)

Role: ☒ Agent ☐ Engineer ☐ Surveyor ☐ Other (note role): Architect

Firm Name (if applicable):

Address:

Primary Contact Name: Brandon Weinheimer

Phone:

Fax:

Email:

Secondary Contact Name:

Phone:

Fax:

Email:

## C. Fee Schedule (Please attach appropriate fee to application.)

- ☐ Conditional Use Permit Application - \$400
- ☐ Site Plan Application Admin - \$300
- ☐ Site Plan Application P&Z - \$400
- ☐ Entry Corridor Design - \$100
- ☐ Application for Zoning Change - \$400
- ☐ Application for Land Use Change - \$300
- ☐ Minor Plat - \$300
- ☐ Replat - \$300 plus \$20 per lot
- ☐ Amending Plat - \$200
- ☐ Preliminary Plat - \$400 plus \$20 per lot
- ☐ Final Plat - \$500 plus \$10 per lot

## D. Recording Fee Schedule

For plats, a recording fee will be collected when mylars are presented. The check should be made payable to Gillespie County Clerk and the recording fees are \$121.00 plus \$10.00 per lot.