



City of Fredericksburg

City Council Regular Meeting Agenda
Tuesday, February 4, 2025 ~ 9:00 AM
New City Hall at East Campus
2818 E. U.S. Hwy. 290
Fredericksburg, Texas 78624

Jeryl Hoover, Mayor
Emily Kirchner, Mayor Pro-Tem
Bobby Watson, Councilmember

Tony Klein, Councilmember
Randy Briley, Councilmember
Clinton Bailey, City Manager

The City of Fredericksburg City Council will meet in a regular session on Tuesday, February 4, 2025, at 9:00 AM. The meeting will be live-streamed & available for re-watch on the City's website: fredericksburgtx.portal.civicclerk.com.

The City Council welcomes citizen participation and comments at all City Council Meetings on Agenda Items.

Comment Card for Written or Verbal Comments-submitted by 4 p.m. the day before the meeting.

- i. Complete the Comment Card online at FBGTX.org;
- ii. Make sure to check the appropriate box (verbal or written);
- iii. Only one agenda item per Comment Card.

Sign up in person between 8:30 a.m. and 9:00 a.m. at the meeting location.

- i. Only one agenda item per Comment Card;
- ii. Speakers will be limited to three minutes to speak. **Please Note:** The Mayor can reduce the number of minutes for any speaker during Public Comment on a single agenda item depending on the number of people who sign up for it.
- iii. Any citizen with handouts should provide them to the City Secretary before speaking. If you wish the City Council to receive your handouts for the meeting, please provide 10 copies; if not, the City Council will receive your handouts the following day.

NOTE: The City Council may adjourn into Executive Session to consider any item listed on this agenda if a matter is raised that is appropriate for discussion. An announcement will be made on the basis of the Executive Session discussion. The City Council may also publicly discuss any item listed on the agenda for the Executive Session.

Attendance By Other Elected or Appointed Officials: It is anticipated that the Planning & Zoning Commission, Historic Review Board, and Zoning Board of Adjustment members may attend the City Council Meeting at the date and time above in numbers that may constitute a quorum. Notice is hereby given that at the City Council Meeting at the date and time above, no Board or Commission action will be taken by such in attendance unless such item and action are specifically provided on a separate agenda posted subject to the Texas Open Meeting Act. This is not an agenda of an official meeting of the City Boards and Commissions, and minutes will not be taken.

1. **CALL TO ORDER - Mayor Jeryl Hoover**
2. **INVOCATION - Daniel Hofmann of Holy Ghost Lutheran Church, Minister of Children & Young Families**
3. **PLEDGES OF ALLEGIANCE - Mayor Jeryl Hoover will lead the Pledges**
4. **CEREMONIAL MATTERS - Recognition of First Baptist Church Members for their assistance for Cleanup of the creek area under the bridge and towards S. Adams Street.**
 - A. Creek Clean-up under the Bridge towards S. Adams Street Photo.
5. **COUNCIL COMMENTS**
6. **CONSENT**

THE FOLLOWING ITEMS MAY BE ACTED UPON IN A SINGLE MOTION. NO SEPARATE DISCUSSION OR ACTION ON ANY OF THESE ITEMS WILL BE HELD UNLESS PULLED AT THE REQUEST OF A MEMBER OF THE CITY COUNCIL.

 - A. Consider approval of Special City Council Minutes of January 16, 2025. (Leticia Vacek, City Secretary/RMO)
7. **ORDINANCES, RESOLUTIONS AND PUBLIC HEARINGS**
 - A. Consider the approval of Resolution 2025-03 for the Market Square Redevelopment Commission amending the procedural rules and appointing Jim Mikula, Don Weinheimer, and Heather McCarver to the Market Square Redevelopment Commission. (Andrea Schmidt, Director of Parks and Recreation)
 - B. Consider the approval of Resolution 2025-02 related to City support of MAC-RE, LLC's proposed rehabilitation of the Fredericksburg Senior Apartments located at 591 E. Highway St. (Jeryl Hoover, Mayor)
 - C. Consider the adoption of Ordinance 2025-03 amending Section 24.100 of Appendix A - Fee Schedule, of the Code of Ordinances to update and amend the fees for the use of Lady Bird Johnson Municipal Golf Course. (Chris Meade, General Manager-Lady Bird Golf Course)
 - D. Consider the adoption of Ordinance 2025-04 amending Ordinance 2024-37 for the Voluntary Annexation of 97 Hitchin Post Trail amending the Annexation Agreement with the Developer name of Fredericksburg Development, Inc. (Shelby Collier, Senior Planner)

8. OTHER ACTION ITEMS AND UPDATES

- A. Consider and take action on appeal of Director of Development Services denial of a STR permit for Curt & Misty Harlan at 205 West Creek Street. (Shelby Collier, Senior Planner)
- B. Request of the Fredericksburg Parks Foundation for initial approval for a project at the old Turner Hall property in collaboration with the National Fitness Campaign and various donors. (Mayor Hoover and Emily Kirchner, Mayor Pro-Tem)
- C. Consider the approval of the SKT Architects Design Invoice for the CVB. (Evan Williamson, Assistant City Engineer)
- D. Consider approval of a Contract for a New Pump and Tank (budgeted items) for the current Chassis Brush Truck for the Fire Department. (Lynn Bizzell, Fire Chief)
- E. Consider and approve a replacement 2025 Tahoe Police Pursuit Vehicle for the Police Department. (Derek Seelig, Police Lt.)

9. CITY MANAGER'S REPORT

10. ITEMS FOR FUTURE AGENDA

- A. City Manager Bailey will review the Future Agenda Items and Meetings with the Council. (Clinton Bailey, City Manager)

11. EXECUTIVE SESSION

The City Council will recess its open meeting and reconvene in Executive Session pursuant to Texas Government Code Sections - 551.071 and 551.074.

- A. Consideration of the appointment for an Alternate Municipal Court Judge. (Shelley Becker, Presiding Judge) -Texas Government Code Section 551.074
- B. Consultation with City Attorney - Former Texas Rangers Foundation 380 Agreement and Ground Lease - Texas Government Code Section 551.071.

12. BUSINESS ITEM

The City Council will reconvene into Regular Session upon the conclusion of the Executive Session, the City Council may take action on any item posted in Executive Session, as necessary.

13. ADJOURN

CERTIFICATION

This is to certify that I, Leticia Vacek, posted this Agenda at 2:30pm on January 31, 2025 on the bulletin board of City of Fredericksburg City Hall, 126 W. Main St., Fredericksburg, Texas.

Leticia Vacek

Leticia Vacek, TRMC/CMC/MMC
City Secretary



CITY COUNCIL AGENDA MEMO

DEPARTMENT: City Secretary

TO: Mayor & City Council Members

FROM:

MEETING DATE: February 4, 2025

CATEGORY: CEREMONIAL MATTERS -

Recognition of First Baptist Church Members for their assistance for Cleanup of the creek area under the bridge and towards S. Adams Street.

CAPTION: Creek Clean-up under the Bridge towards S. Adams Street Photo.

PRESENTATION:

SUMMARY:

BACKGROUND:

FUNDING SOURCE:

FINANCIAL IMPACT:

STAFF RECOMMENDATION:

COMPREHENSIVE PLAN GUIDING PRINCIPLE:

Neighborhood Quality

Workforce

Tourism

City Center

Mobility

Small Town Sensitive Growth

Governance

ATTACHMENTS:

1. Photo - Creek Clean-up

APPROVAL/REVIEW:



Leticia Vacek, City Secretary

Date: January 30, 2025



Clinton Bailey, City Manager

Date: January 30, 2025





City of Fredericksburg

City Council Special Meeting
Thursday, January 16, 2025 ~ 5:30 PM
New City Hall at East Campus
2818 E. U.S. Hwy. 290
Fredericksburg, Texas 78624

City Council Members Present:

Mayor Jeryl Hoover
Mayor Pro-Tem Emily Kirchner
Councilmember Bobby Watson
Councilmember Tony Klein
Councilmember Randy Briley

City Staff Present:

Clinton Bailey, City Manager
Garret Bonn, Assistant City Manager
Leticia Vacek, City Secretary
Mick McKamie, City Attorney - Virtual
Krista Wareham, Director of Finance
Brian Vorauer, Chief of Police
Aaron Anderegg, Director of IT
Sean Doerre, Public Information Officer
Brandon Gold, Assistant IT Director
Darren Eckhardt, Accounting Coordinator
Leslie Ball Embrey, Assistant to the City Secretary

CALL TO ORDER

Mayor Jeryl Hoover called the Special Meeting to order noting a quorum was present.

Review Applications and Interview Applicants requesting Hotel Occupancy Tax (HOT) Funding for 2025. (Darren Eckhardt, Accounting Coordinator)

Mayor Hoover summarized the process for the Hotel Occupancy Tax Application Funding as well as requested applicants to explain their request if they were requesting more funding than last year. He noted that the total amount allotted by the City Council this year was \$500,000 and that from the 27 applications submitted; \$797,475 was the total being requested. He spoke about a balance and prioritization. He addressed the applicants representing each organization not to read their applications for efficiency.

Nimitz Foundation – It was noted that in addition to the National Museum of the Pacific War; the renovation of the George W Bush Gallery was planned, a new Interactive Submarine and a New Main Street Entrance. The requested amount of \$150,000 would assist their planned projects.

Church of the Colored People of Gillespie County – The requested amount of \$21,500 would provide the 137-year-old church to continue to preserve and apply the funding to the structure itself, repair the steeple, and repaint the entire structure.

Die Kunstler Von Fredericksburg aka DK – It was stated that they had applied for \$4,500 in funding to assist with advertising of their November Art Show.

Fredericksburg Art Guild – The requested amount of \$4,725 would be utilized for their advertising and was consistent with past year's request.

Fredericksburg Chamber of Commerce – It was reported that the \$18,000 request would be used for their advertisement expansion of Light the Night Christmas Parade & AfterGlow.

Fredericksburg Farmer's Market – The request of \$5,000 would be utilized to continue the Farmer's Market. It was noted that their request was the same as the previous year.

Fredericksburg Junior Chamber of Commerce – It was stated that their \$25,000 request was for the Jaycees Crawfish Festival. It was stated that they would be seeking funding from the County. They also reported that their proceeds go towards county-wide scholarships while also assisting the Needs Council.

Fredericksburg Music Club – The requested amount of \$7,500 would be used for fees to provide eight free concerts per year.

Fredericksburg Rotary Club Foundation, Inc – It was stated that this is their fourth year and continue to request \$10,000 and that 100% net proceeds go to charity within the community.

Fredericksburg Theater Company – It was noted that the request was for \$12,000 for the year to cover the 2025 Productions.

Friends of Gillespie County Country Schools – The requested amount of \$8,400 would be utilized for the restoration and preservation of historic schools.

German Choirs of Fredericksburg – It was stated that their goal was to continue to preserve the German Heritage through music. Their request was for \$2,500.

Gillespie County Fair & Festival Association – The requested amount of \$65,000 would be utilized for their event of Horse Racing and the 136th Gillespie County Fair.

Gillespie County Historical Society – It was noted that requested funds for the VK were \$90,000 and for Historic Home Tour and Holiday Market at \$10,000 for their marketing campaign noting that their ticket sales exceeded by 6% and the 2024 Historic Home and noted that November will be the 66th Annual Historic Home Tour.

Oktoberfest/PCAA – The requested amount of \$20,000 would be utilized for the 45th Anniversary of Oktoberfest marketing. It was noted that their net proceeds go to the

PCAA, and they are distributed to many others that benefit which were provided.

Stonewall Chamber of Chamber – The request of \$30,000 was for the Stonewall Peach JAMboree & Rodeo.

Texas Center for Wine and Culinary arts dba Flavory TX – The \$7,500 request was for the Holiday Prelude awareness event. Hayley Wakefield noted that they are taking over their marketing with a brand refresh and a web-site revamp. In addition, \$20,000 was requested to support Restaurant Week, a new event. Ms. Wakefield stated that for this new event, they will use similar marketing and communication used during the Food & WineFest to support Restaurant Week in April.

Frontier History Company – The request of \$5,850 would be used for their Living History Presentations.

Heritage School – The \$10,000 request was for EISBAHN that now starts the Saturday before Thanksgiving.

Texas Wine Revolution dba Texas Wine Auction – It was noted that the request for \$50,000 was for their 4th Annual Auction Gala & Festival and their 2nd Annual Texas Live Barrel Auction at a \$20,000 request. Questions were asked and Dawn Cox and Valerie Elkins explained why they were asking for additional funds and stated that they utilize 40 Texas Wineries noting the beneficiaries of the event. It was added that mental health support referrals were provided for hospitality workers as well as virtual seminars. They also stated that they were working with the Culinary Institute and package pricing through the Albert Hotel and hired Hailey Wakefield to oversee their marketing.

Fredericksburg Education Initiative dba SystemsGo – It was stated that the requested funding of \$5,000 was for the Rocket Launching Learning Program that now involves about seventy-five schools. Their events are live streamed and held the first week in May.

Texas Cellos – It was stated that this was a new program and the request of \$25,000 would be used to create various music campuses providing education, instruction, lessons, rehearsals, and concerts. Pop-up music at restaurants and various places in town would be planned. Thus far, 4 music festivals have been provided, and they will perform June 8th-21st at St. Joseph's Hall. Their plan is to schedule twenty concerts.

Fredericksburg Parks Foundation – It was stated that this was a new event at Lady Bird. Ms. Wakefield requested \$20,000 for their event, Party in the Park providing families to gather and enjoy the outdoors. She added that requested funds would be utilized for marketing, website build, social media, among others.

Der Stadische Friedhof Fredericksburg, Inc. dba Der Stadt Friedhof Cemetery – The requested funds of \$150,000 was for a drainage project at the cemetery. Mayor Pro-Tem Kirchner asked if the city could assist with ground preparation. Mr. Bonn stated that the city would be able to do some of the work. After a brief discussion, it was stated that \$17,000 would be needed to address the issue of the erosion. Mr. Bonn noted that the city could contribute that portion as well as the cost of the grading. City staff will assist with in-house preparation of the channel at \$22,000. The requester will also seek

HOT Funds from the County.

Lastly, Mayor Hoover encouraged applicants to seek County HOT Funds noting their on-line application process opens in March. Mayor Hoover noted that was the end of the list of applicants. He added that the Council would act on the allocation of funds at the next City Council Regular Meeting. Mayor Pro-Tem Kirchner recommended a great form of communication for all organizations requesting funds is to ensure that they have a “Volunteer Tab” on their website which would encourage people to assist and become involved.

ADJOURN

Mayor Hoover adjourned the meeting at 7:01 pm.

Jeryl Hoover, Mayor

Attest:

Leticia Vacek, TRMC, CMC, MMC
City Secretary



CITY COUNCIL AGENDA MEMO

DEPARTMENT: Parks and Recreation
TO: Mayor & City Council Members
FROM: Andrea Schmidt, Parks and Recreation
Director

MEETING DATE: February 4, 2025

CATEGORY: ORDINANCES, RESOLUTIONS
AND PUBLIC HEARINGS

CAPTION: Consider the approval of Resolution 2025-03 for the Market Square Redevelopment Commission amending the procedural rules and appointing Jim Mikula, Don Weinheimer, and Heather McCarver to the Market Square Redevelopment Commission. (Andrea Schmidt, Director of Parks and Recreation)

PRESENTATION:

SUMMARY:

A resolution formally creating the Market Square Redevelopment Commission was approved by City Council on March 16, 2020. That resolution also provided the Commission's functions, duties, and conduct. The Market Square Redevelopment Commission met on December 5, 2024, and unanimously approved amending the resolution's residency requirements and adding an attendance requirement. This amendment will allow a resident of Gillespie County to serve on the commissioner rather than only those that live in the City of Fredericksburg. The Commission also recommended adding an attendance requirement. These two amendments are outlined below. Several grammatical and minor corrections were also made.

"The Commission shall be composed of fifteen (15) voting members, with each member being a resident citizen of Gillespie County."

"No member shall miss more than three (3) consecutive meetings without approval from the Commission. A member who misses more than three (3) consecutive meetings without approval from the Commission shall be considered to have resigned from the Commission."

In addition, there are three open positions on the Commission. The Market Square Redevelopment Commission is recommending these three positions be filled by County Commissioner Don Weinheimer, Pioneer Museum Executive Director Heather McCarver, and President/CEO of the Fredericksburg Chamber of Commerce Jim Mikula. All fifteen positions on the Commission will be filled with these appointments.

BACKGROUND:

In 1987, the City purchased the northern half of the Square and appointed a group of twelve people as the Market Square Steering Committee. The Committee's name changed to the Market Square

Study Committee and in 1990 the Committee became known as the Market Square Redevelopment Commission.

FUNDING SOURCE: N/A

FINANCIAL IMPACT:
N/A

STAFF RECOMMENDATION:

Approve amended Resolution 2020-06R and the three appointments to the Market Square Redevelopment Commission as presented.

COMPREHENSIVE PLAN GUIDING PRINCIPLE:

Neighborhood Quality
Workforce
Tourism
City Center
Mobility
Small Town Sensitive Growth
Governance

ATTACHMENTS:

1. Resolution 2025-03 for Market Square Redevelopment Commission

APPROVAL/REVIEW:

Andrea Schmidt

Andrea Schmidt, Parks and Recreation Director

Date: January 16, 2025

William McKamie

William McKamie, City Attorney

Date: January 16, 2025

Leticia Vacek

Leticia Vacek, City Secretary

Date: January 27, 2025

Clinton Bailey

Clinton Bailey, City Manager

Date: January 30, 2025

RESOLUTION 2025-03

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF FREDERICKSBURG, TEXAS, FINDING AND DECLARING THAT THERE EXISTS A NEED FOR A MARKET SQUARE REDEVELOPMENT COMMISSION, CREATING A MARKET SQUARE REDEVELOPMENT COMMISSION, AND ESTABLISHING AND ADOPTING THE PROCEDURAL RULES FOR, AND THE DUTIES AND FUNCTIONS ASSOCIATED THEREWITH; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Fredericksburg, Texas (the “City”) is a home rule municipality acting under its charter adopted by the electorate pursuant to Article XI, Section 5, of the Texas Constitution and Chapter 9 of the Local Government Code; and

WHEREAS, in 1987 the City of Fredericksburg appointed a group of twelve (12) people as the Market Square Steering Committee (“Committee”), tasked with evaluating the community's desires for re-development of the City's Market Square (“Marktplatz”); and

WHEREAS, in 1989 the Committee was tasked with fundraising for the redevelopment of Marktplatz; and

WHEREAS, in 1990 the Committee established the Fredericksburg Food and Wine Fest to benefit and promote the redevelopment of Marktplatz; and

WHEREAS, between 1990 and 1991 the Committee became known as the Market Square Redevelopment Commission; and

WHEREAS, the City Council finds that the formal establishment of the Market Square Redevelopment Commission as an advisory body is necessary to assist the City Council in carrying out its duties to preserve the heritage of the City of Fredericksburg, and to protect and preserve Marktplatz as a valuable resource to be enjoyed by citizens and visitors of the City.

NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF FREDERICKSBURG, TEXAS, THAT:

Section 1. All the above premises are true and correct, and they are hereby approved, ratified, and incorporated into the body of this Resolution as if copied in their entirety.

Section 2. The City Council hereby establishes the Market Square Redevelopment Commission as follows:

a. *Establishment.* The City of Fredericksburg Market Square Redevelopment Commission (“Commission”) shall be created as an advisory body whose purpose shall be to

advise and make recommendations to the City Council regarding the preservation of the heritage of Marktplatz, policies for use of Marktplatz, plans for future development and planning of Marktplatz, and other matters related to Marktplatz as requested by the City Council. The Commission shall be composed of fifteen (15) voting members, with each member being a resident citizen of Gillespie County. Each voting member of the Commission shall be appointed by the City Council for a term of three (3) years, shall serve without compensation, shall hold their appointment at the pleasure of the City Council, and may be appointed to an unlimited number of terms. Additionally, one (1) member of the City Council shall be appointed by the City Council to serve as a non-voting, ex officio member of the Commission. Additional non-voting, ex officio members may be appointed to the Commission by the City Council, as determined to be necessary by the City Council.

b. Commission Functions and Duties.

- i. The Commission shall serve in an advisory capacity to the City Council.
- ii. The Commission may create subcommittees to assist in the performance of their functions and duties.
- iii. The Commission shall review all major infrastructure improvements or additions to Marktplatz, and provide a recommendation to the City Council regarding the approval or denial of said improvements or additions.
- iv. The Commission shall advise and provide recommendations to the City Council concerning the need to update or revise any land use plans for Marktplatz, capital improvement plans for Marktplatz, or any other long-range development plans related to Marktplatz.
- v. The Commission shall advise and provide recommendations to the City Council on any other matters related to Marktplatz, as requested by the City Council.
- vi. The Commission may develop fundraising programs, subject to approval of the City Council or City Manager, for the redevelopment of Marktplatz.
- vii. The Commission is not empowered to enter into any contracts, leases, or other legal obligations binding upon the City.
- viii. The Commission members may be reimbursed for all reasonable expenses that are incurred by said members in the performance of their duties as members of such Commission, when authorized in advance by the City Council or City Manager.
- ix. The City Manager shall assign appropriate City staff to provide the Commission with information, support, and any other resources as directed by the City Council, or as determined to be necessary by the City Manager, for the performance of the Commission's functions and duties.

c. *Commission Conduct.*

i. The Commission shall appoint one (1) member as its Chairperson and one (1) member as its Vice-Chairperson at its first meeting following the approval this Resolution.

ii. The Chairperson shall preside over all meetings of the Commission, and in the absence of the Chairperson, the Vice- Chairperson shall preside.

iii. Department staff shall be responsible for recording the minutes of all Commission meetings.

iv. Although the City Council acknowledges that the Commission is created as an advisory body and may not be subject to provisions of the Texas Open Meetings Act, the City Council hereby requires that all meetings of the Commission be open to the public. Department staff shall post notice of all Commission meetings in accordance with City ordinances and the Texas Open Meetings Act.

v. The Commission shall conduct Commission business only when a quorum of members is present. A quorum is defined as a majority of the voting members of the Commission.

vi. The Commission shall meet at sufficient intervals, or as directed by the City Council, so as to fulfill its functions and duties in a reasonably timely manner.

vii. The Chairperson, or any three (3) Commission members, may call a meeting as necessary to conduct business.

viii. The Commission may adopt its own rules of procedure for conducting business.

ix. The Commission shall provide Commission reports to the City Council that include comments and recommendations regarding the Commission's Functions and Duties, as set forth in Section 2(b) of this Resolution.

x. No member shall miss more than three (3) consecutive meetings without approval from the Commission. A member who misses more than three (3) consecutive meetings without approval from the Commission shall be considered to have resigned from the Commission.

Section 3. Severability. In the event any clause, phrase, provision, sentence or part of this Resolution or the application of the same to any person or circumstances shall for any reason be adjudged invalid or held unconstitutional by a court of competent jurisdiction, it shall not affect, impair, or invalidate this Resolution as a whole or any part or provision hereof other than the part declared to be invalid or unconstitutional.

Section 4. *Effective Date.* This Resolution becomes effective immediately upon its passage.

PASSED AND APPROVED on this 4th day of February 2025.

Jeryl Hoover, Mayor

ATTEST:

Leticia Vacek, TRMC/CMC/MMC
City Secretary



CITY COUNCIL AGENDA MEMO

DEPARTMENT: City Manager

TO: Mayor & City Council Members

FROM: Garret Bonn, Assistant City Manager

MEETING DATE: February 4, 2025

CATEGORY: ORDINANCES, RESOLUTIONS
AND PUBLIC HEARINGS

CAPTION: Consider the approval of Resolution 2025-02 related to City support of MAC-RE, LLC's proposed rehabilitation of the Fredericksburg Senior Apartments located at 591 E. Highway St. (Jeryl Hoover, Mayor)

PRESENTATION:

SUMMARY:

Consideration of a resolution in support of MAC-RE, LLC's proposed rehabilitation of affordable rental housing at The Fredericksburg Senior Apartments located at 591 E. Highway St.

BACKGROUND:

Similar to last year, MAC-RE, LLC has proposed the rehabilitation of affordable rental housing at The Fredericksburg Senior Apartment complex located at 591 E. Highway St. MAC-RE intends to submit an application to the Texas Department of Housing and Community Affairs for 9% housing tax credits.

MAC-RE is requesting the City pass a resolution of support of the project which would include a development fee waiver in the amount of \$250.00 as a commitment of development funding. Robby Meyer with ARX Advantage/MAC-RE will be in attendance at the meeting to make the attached presentation and to answer any questions that may arise.

FUNDING SOURCE: General Fund
(Development Fees)

FINANCIAL IMPACT:
\$250

STAFF RECOMMENDATION:

A similar resolution (2024-01R) was approved by the City Council last year and the proposed rehabilitation of the facility represents a substantial re-investment in the developed property and will provide much-needed affordable housing stock, so City staff recommends approval.

COMPREHENSIVE PLAN GUIDING PRINCIPLE:

Quality of Life Vision

ATTACHMENTS:

1. Fredericksburg Seniors Mac-Re Presentation
2. Fredericksburg Seniors Support-Financial-Resolution 2025-02

APPROVAL/REVIEW:

Krista Wareham, Director of Finance

Date: January 27, 2025



Leticia Vacek, City Secretary

Date: January 27, 2025



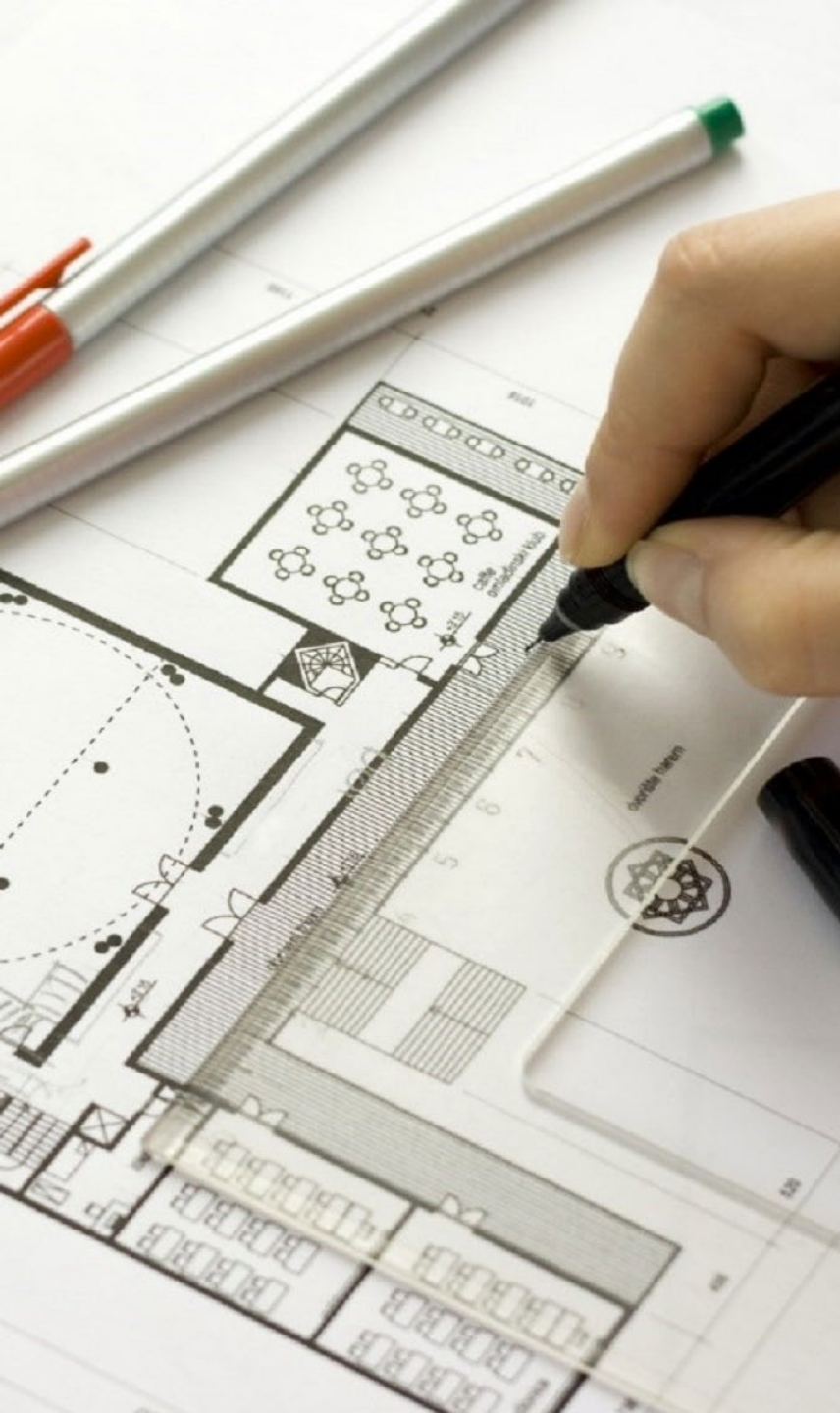
William McKamie, City Attorney

Date: January 27, 2025



Clinton Bailey, City Manager

Date: January 30, 2025



Arx Advantage Presents MAC-RE and Fredericksburg Seniors Apartments

Robbye Meyer, Principal

Justin Meyer, Principal, Development Specialist

Mark Meyer, Principal, Development Analyst



MAC-RE OVERVIEW

MAC-RE completed their first development in 1979 in Mansfield, Louisiana. Since that time they have acquired and completed 147 developments consisting of 4,978 units in 98 cities throughout Texas, Louisiana, and Mississippi. 3,406 of the units are for families and 1,572 of the units are for seniors.

ARX ADVANTAGE OVERVIEW

Arx Advantage Consulting, the development consulting group, has over thirty years of finance, real estate, housing programs and asset management experience. Robbye Meyer, principal and owner, is the former director of multifamily finance for the Texas Department of Housing and Community Affairs. Justin Meyer, principal, directs development logistics and planning. Mark Meyer, principal, oversees development strategic analysis.

Arx Advantage is a comprehensive real estate development consulting firm. The vision of Arx is to assist in the development of affordable housing through the use of public and private funding resources and to assist in providing opportunities for the people who eventually live in the homes created by helping provide them with the resources they need to better their lives.

TAX CREDIT PROGRAM OVERVIEW

- IRS Program originated through 1986 tax plan
- Program administered through State agencies – TDHCA
- Investor receives dollar-for-dollar income tax reduction
- Investor dollars contribute equity in the financing structure to reduce the amount of mortgage debt on the property
- Lower debt allows owner to charge below market rents

FREDERICKSBURG SENIORS APARTMENTS

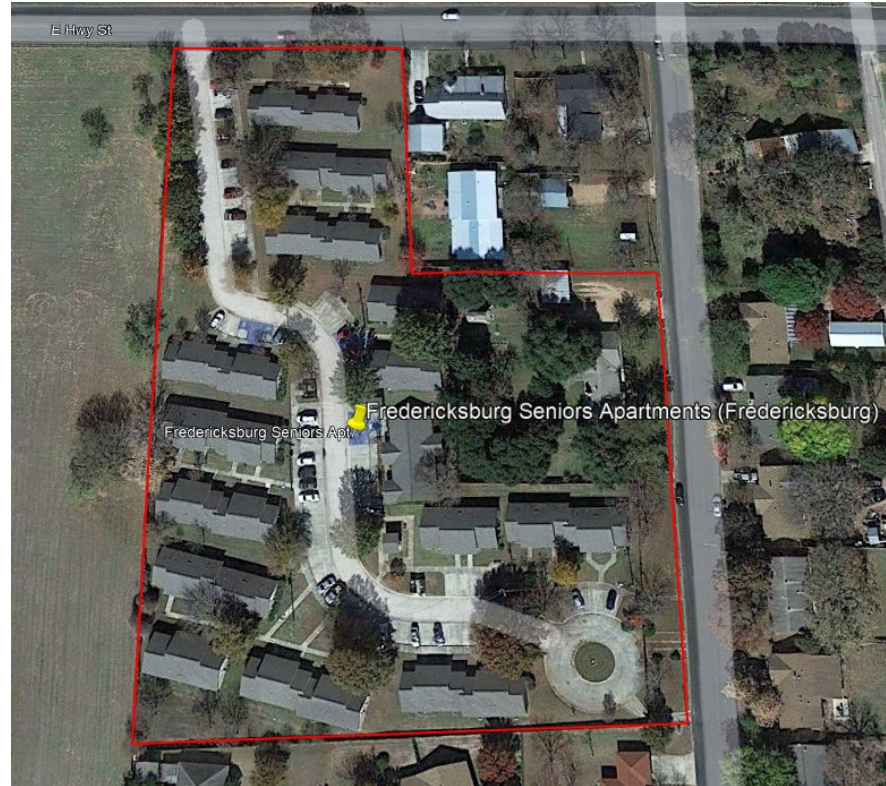
48 Units of Affordable Rental Housing for families

- 14 – residential buildings
 - 40 – one bedroom units
 - 8 – two bedroom units
- 1 – attached office building

All units are reserved for families making 60% and below the area's median income.

FREDERICKSBURG SENIORS APARTMENTS

591 E Hwy St, Fredericksburg, TX 78624



PROPOSED REHABILITATION

- Retrofitting parking areas for accessibility
- Kitchen cabinets/vanities/countertops
- Replace kitchen sinks
- New mailbox pad
- Metal fascia wrap
- New gutters
- Roofing replacements
- Additional framing and drywall
- Doors and windows replacement
- VCT Tile floors
- Parking lot upgrades
- Landscaping upgrades
- Energy Star refrigerators
- Energy Star rated electric ranges
- Energy Star rated water heaters
- Tub/shower upgrades
- Energy Star HVAC units
- Energy Star ceiling fans



Complete scope of rehabilitation may change during development process)

TIMELINE

January 9, 2025 – Submitted Pre-Application

February 28, 2025– Submission of Full Application

July 2025 – Awards Announced

April 2026– Close on Development

June 2026 – Begin Construction on the rehabilitation.

(Proposed timeline may change during development process)

ASSISTANCE NEEDED FROM THE CITY

1. Resolution of Support from the City Council
(needs to be submitted with application on February 28, 2025)
2. A waiver or reduction of fees for the Development in an amount of at least \$250.00 (also needs to be submitted with application on February 28, 2025)

RESOLUTION 2025-02

WHEREAS, MAC-RE, LLC has proposed the rehabilitation of affordable rental housing at 591 East Hwy Street, named The Fredericksburg Seniors Apartments in the City of Fredericksburg, Texas; and

WHEREAS, MAC-RE, LLC has advised that it intends to submit an application to the Texas Department of Housing and Community Affairs for 2025 Competitive 9% Housing Tax Credits for The Fredericksburg Seniors Apartments

WHEREAS, MAC-RE, LLC has requested a waiver of development/permit fees in the amount of \$250.00 for The Fredericksburg Seniors Apartments development as a commitment of development funding from the city of Fredericksburg, Texas; and

WHEREAS, the city of Fredericksburg, Texas has the authority to defer development fees on the property located at 591 East Hwy Street;

IT IS HEREBY RESOLVED, THAT

The governing body of the City of Fredericksburg, Texas, hereby adopts this resolution as evidence to its commitment of funds in the amount of \$250.00 to be provided to the development in the form of a waiver of development/permit fees; and

The governing body of the City of Fredericksburg, Texas, hereby confirms that it supports the rehabilitation of The Fredericksburg Seniors Apartments located at 591 East Hwy Street, and that this formal action has been taken to put on record the opinion expressed by the City on _____, and

FURTHER RESOLVED, that for and on behalf of the Governing Body, **Jeryl Hoover, Mayor** is hereby authorized, empowered, and directed to certify these resolutions to the Texas Department of Housing and Community Affairs.

This resolution shall take effect immediately and upon passage.

PASSED, and APPROVED this 21st day of January 2025 at a Regular Meeting of the City Council of Fredericksburg.

Jeryl Hoover, Mayor

Seal

Leticia Vacek, TRMC, CMC, MMC
City Secretary



CITY COUNCIL AGENDA MEMO

DEPARTMENT: City Manager

TO: Mayor & City Council Members

FROM: Clinton Bailey, City Manager

MEETING DATE: February 4, 2025

CATEGORY: ORDINANCES, RESOLUTIONS
AND PUBLIC HEARINGS

CAPTION: Consider the adoption of Ordinance 2025-03 amending Section 24.100 of Appendix A - Fee Schedule, of the Code of Ordinances to update and amend the fees for the use of Lady Bird Johnson Municipal Golf Course. (Chris Meade, General Manager-Lady Bird Golf Course)

PRESENTATION:

SUMMARY:

This item is for the introduction and first reading of an ordinance of the City Council of Fredericksburg, amending Section 24.100 of Appendix A, Fee Schedule of the Code of Ordinances, to amend the fees for the use of Lady Bird Johnson Municipal Golf Course.

BACKGROUND:

Fees for the use of Lady Bird Johnson Municipal Golf Course have not been increased since April 1, 2022. A small fee increase is being proposed to cover increases in labor and material costs over the past several years. The proposed increase is necessary for Touchstone Golf to adequately maintain current golf course conditions and operations. A red-line version of the proposed amended golf course fee ordinance is attached. The rates set out in the proposed amended ordinance will be effective March 1, 2025.

FUNDING SOURCE:

FINANCIAL IMPACT:

STAFF RECOMMENDATION:

Staff recommends approval of the proposed amended ordinance.

COMPREHENSIVE PLAN GUIDING PRINCIPLE:

Neighborhood Quality

Workforce

Tourism

City Center

Mobility

Small Town Sensitive Growth

Governance

ATTACHMENTS:

1. Lady Bird Johnson Golf Fees Ordinance 2025-03

APPROVAL/REVIEW:



Leticia Vacek, City Secretary

Date: January 27, 2025



William McKamie, City Attorney

Date: January 27, 2025



Leticia Vacek, City Secretary

Date: January 29, 2025



Krista Wareham, Director of Finance

Date: January 29, 2025



Clinton Bailey, City Manager

Date: January 30, 2025

ORDINANCE 2025-03

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF FREDERICKSBURG, TEXAS, AMENDING SECTION 24.100 OF APPENDIX A – FEE SCHEDULE, OF THE CODE OF ORDINANCES, TO UPDATE AND AMEND THE FEES FOR USE OF LADY BIRD JOHNSON MUNICIPAL GOLF COURSE.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF FREDERICKSBURG, TEXAS:

Section 1. That, Section 24.100 “Fees for the use of Lady Bird Johnson Municipal Golf Course,” of Appendix A “Fee Schedule,” of the Code of Ordinances, is amended to read as follows:

Sec. 24.100 - Fees for Lady Bird Johnson Municipal Golf Course use.

All fees and rates plus applicable sales tax.

(a) GUEST RATES FOR RESIDENTS OF GILLESPIE COUNTY.

Available to book seven days in advance.

Weekday 18 Holes - Green Fee - ~~\$30~~33.00/Cart fee - \$18.00 = ~~\$48~~51.00

Weekend 18 Holes - Green Fee - ~~\$35~~38.00/Cart fee - \$18.00 = ~~\$53~~56.00

Weekday 9 Holes - Green Fee - ~~\$21~~23.00/Cart fee \$11.00 = ~~\$32~~34.00

Weekend 9 Holes - Green Fee - ~~\$24~~26.00/Cart fee \$11.00 = ~~\$35~~37.00

Twilight Rate - Green Fee - ~~\$22~~23.00/Cart fee - \$18.00 = ~~\$40~~41.00 - Monday through Thursday

Twilight Rate - Green Fee - ~~\$27~~28.00/Cart fee - \$18.00 = ~~\$45~~46.00 - Friday thru Sunday

(Twilight Times - Standard Time 2:00 p.m./Daylight Savings 3:00 p.m.)

(b) GUEST RATES FOR NON-RESIDENTS OF GILLESPIE COUNTY.

Weekday 18 Holes - Green Fee - ~~\$44~~47.00/Cart fee - \$18.00 = ~~\$62~~65.00

Weekend 18 Holes - Green Fee - ~~\$50~~53.00/Cart fee - \$18.00 = ~~\$68~~71.00

Weekday 9 Holes - Green Fee - ~~\$25~~26.00/Cart fee - \$11.00 = ~~\$36~~37.00

Weekend 9 Holes - Green Fee - ~~\$28~~29.00/Cart fee - \$11.00 = ~~\$39~~40.00

Twilight Rate - Green Fee - ~~\$30~~32.00/Cart fee - \$18.00 = ~~\$48~~50.00 - Monday through Thursday

Twilight Rate - Green Fee - ~~\$35~~37.00/Cart fee - \$18.00 = ~~\$53~~55.00 - Friday through Sunday

(Twilight Times - Standard Time 2:00 p.m./Daylight Savings 3:00 p.m.)

(c) SENIOR RATES FOR MONDAY THROUGH THURSDAY FOR PERSONS 62 AND OVER.

For residents of Gillespie County - Green Fee - ~~\$25~~28.00/Cart fee - \$18.00 = ~~\$43~~46.00

For non-residents of Gillespie County - Green Fee - ~~\$39~~42.00/Cart fee - \$18.00 = ~~\$51~~54.00

(d) JUNIOR RATE FOR RESIDENTS OF GILLESPIE COUNTY WHO ARE 18 YEARS OF AGE AND UNDER. FOURTEEN AND UNDER PLAYING WITH A PAID ADULT ARE FREE.

Weekday 18 holes - Green Fee - ~~\$17~~18.00/Cart fee - \$18.00 = ~~\$35~~36.00

Weekend 18 holes - Green Fee - ~~\$23~~25.00/Cart fee - \$18.00 = ~~\$41~~43.00

Weekday 9 Holes - Green Fee - ~~\$10~~12.00/Cart fee - \$18.00 = ~~\$28~~30.00

Weekend 9 Holes - Green Fee - ~~\$15~~17.00/Cart fee - \$18.00 = ~~\$33~~35.00

(e) JUNIOR RATE FOR NON-RESIDENTS OF GILLESPIE COUNTY WHO ARE 18 YEARS OF AGE AND UNDER.

Weekday 18 holes - Green Fee - ~~\$23~~26.00/Cart fee - \$18.00 = ~~\$41~~44.00

Weekend 18 holes - Green Fee - ~~\$25~~27.00/Cart fee - \$18.00 = ~~\$43~~45.00

Weekday 9 Holes - Green Fee - ~~\$15~~16.00/Cart fee - \$11.00 = ~~\$26~~27.00

Weekend 9 Holes - Green Fee - ~~\$17~~19.00/Cart fee - \$11.00 = ~~\$28~~30.00

(f) MEMBERS OF THE FREDERICKSBURG HIGH SCHOOL GOLF TEAM DURING THE REGULAR SCHOOL YEAR. No charge.

(g) REPLAY RATE-APPLIES AFTER 18 HOLES OF PLAY.

Residents of Gillespie County and Non-Residents - Green Fee - \$15.00/Cart fee - \$18.00 = ~~\$33~~33.00

Members - Green Fee - \$0.00/Cart fee - \$18.00 = \$18.00

(h) MEMBERSHIP PRICING. ALL RATES PLUS APPLICABLE SALES TAX.

The following Membership Package rates are effective from ~~April 1, 2022~~March 1, 2025 through March 31, ~~2023~~2026. Membership Packages shall be effective from April 1 to March 31 of each calendar year. Purchasers of Membership Packages may choose among the following options for each package year.

(1)	ANNUAL MEMBERSHIP SINGLE	ANNUAL MEMBERSHIP FAMILY
	\$ 458 <u>165.00</u> Monthly	\$ 225 <u>259.00</u> Monthly
	No green fees/unlimited golf	No green fees/unlimited golf
(2)	SEASONAL MEMBERSHIP SINGLE	SEASONAL MEMBERSHIP FAMILY
	\$ 489 <u>196.00</u> Monthly	\$ 285 <u>292.00</u> Monthly
	No green fees/unlimited golf	No green fees/unlimited golf
(3)	ANNUAL PRE-PAY SINGLE	ANNUAL PRE-PAY FAMILY
	\$ 1,706 <u>1,782.00</u>	\$ 2,721 <u>2,798.00</u>

	No green fees/unlimited golf	No green fees/unlimited golf
(4)	OPTIONAL UNLIMITED CARTS SINGLE (ANNUAL OR SEASONAL)	OPTIONAL UNLIMITED CARTS FAMILY (ANNUAL OR SEASONAL)
	\$140 125.00 Monthly	\$ 175 200.00 Monthly

All Membership Package holders shall be additionally entitled to a twenty (20) percent discount on all regular-priced apparel purchased from the Lady Bird Pro Shop, a ten (10) percent discount on all regular-priced hard goods (equipment) purchased from the Lady Bird Pro Shop. Any guest accompanying an Active Member will be entitled to pay Guest Rates for Residents of Gillespie County (outlined in subsection (a) above). Current Members can book tee times TEN (10) days in advance.

(i) LADY BIRD PLAYERS CLUB CARD.

The General Manager for the Lady Bird Johnson Municipal Golf Course shall have the authority to make available for sale, and to change the sales price of, an annual “Players Club” Card. Holders of said Card will receive a rate to be shown lower than the published rack rate, but never at or below the Guest Rates for Residents of Gillespie County. The sales price of said Card on ~~April 1, 2022~~April 1, 2025 is ~~\$99~~99.00. All cards are valid for the calendar year.

(j) PRACTICE BALLS.

Small bucket - \$ ~~66~~.00

Medium bucket - \$ ~~91~~10.00

Large bucket - \$ ~~141~~15.00

(k) TOURNAMENTS, GROUP RATES AND DYNAMIC PRICING.

The General Manager of the Lady Bird Johnson Municipal Golf Course shall have the authority to deviate from the rates set forth above when setting rates for tournaments or special group rates. Additionally, the General Manager may temporarily decrease the rates described in subsections (a), (b), (c), (d), (e), and (g) to provide for specials at such times as he or she determines would encourage additional play.

The rates set out above will be effective ~~April 1, 2022~~March 1, 2025, except as explicitly set forth above.

{End of code text}

Section 2. Severability or Invalidity. Suppose any provision of this ordinance or the application thereof to any person or circumstance is held invalid. In that case, such invalidity shall not affect other provisions or applications of the ordinance which can be given effect without defeating the purpose or objective of the provisions, and to this end, the provisions of this ordinance are declared to be severable.

Section 3. Repealer. All ordinances and parts of ordinances in conflict with the provisions of this ordinance, is hereby repealed.

Section 4. Effective Date. This ordinance shall be effective on and after the date of passage.

PASSED AND APPROVED on this the 4th day of February, 2025.

Jeryl Hoover, Mayor
City of Fredericksburg, Texas

ATTEST:

Leticia Vacek, TRMC, CMC, MMC
City Secretary

APPROVED AS TO FORM:

Mick McKamie, City Attorney



CITY COUNCIL AGENDA MEMO

DEPARTMENT: Development Services

TO: Mayor & City Council Members

FROM: Shelby Collier, Senior Planner

MEETING DATE: February 4, 2025

CATEGORY: ORDINANCES, RESOLUTIONS
AND PUBLIC HEARINGS

CAPTION: Consider the adoption of Ordinance 2025-04 amending Ordinance 2024-37 for the Voluntary Annexation of 97 Hitchin Post Trail amending the Annexation Agreement with the Developer name of Fredericksburg Development, Inc. (Shelby Collier, Senior Planner)

PRESENTATION:

SUMMARY:

City Council previously approved an Annexation Ordinance and Annexation Agreement on November 19, 2024 for 18.7 acres of land located at 97 Hitchin Post Trail. It was later discovered that the developer name listed in the Annexation Agreement was not the legal owner, resulting in the need for the Annexation Agreement to be corrected.

This correction may be done through adoption of a new Ordinance (No. 2025-04) amending the previously approved Ordinance and Annexation Agreement (No. 2024-37)

The ownership name change is the only change occurring as part of this ordinance adoption.

BACKGROUND:

FUNDING SOURCE:

FINANCIAL IMPACT:

STAFF RECOMMENDATION:

Staff recommends approval of Ordinance No. 2025-04.

COMPREHENSIVE PLAN GUIDING PRINCIPLE:

Small Town Sensitive Growth

ATTACHMENTS:

1. 2025-04 Annexation Ordinance for 97 Hitchin Post with Exhibits for signatures

APPROVAL/REVIEW:



Garret Bonn, Assistant City Manager

Date: January 30, 2025



William McKamie, City Attorney

Date: January 30, 2025



Leticia Vacek, City Secretary

Date: January 31, 2025



Clinton Bailey, City Manager

Date: January 31, 2025

ORDINANCE NO. 2025-04

AN ORDINANCE PROVIDING FOR THE VOLUNTARY ANNEXATION OF THE DESCRIBED TERRITORY (97 HITCHIN' POST TRAIL, ALSO REFERRED TO AS APPROXIMATELY 18.7 ACRES OF LAND DESCRIBED AS THE SAMUEL R. WILSON SURVEY NO. 38, ABSTRACT NO. 735 OF GILLESPIE COUNTY, TEXAS) TO THE CITY OF FREDERICKSBURG, GILLESPIE COUNTY, TEXAS AND EXTENDING THE BOUNDARY LIMITS OF THE CITY TO INCLUDE THE DESCRIBED PROPERTY IN THE CITY LIMITS; AND GRANTING TO ANY AND ALL THE INHABITANTS OF SAID PROPERTY ALL THE RIGHTS AND PRIVILEGES OF OTHER CITIZENS AND BINDING SAID INHABITANTS BY ALL OF THE ACTS, ORDINANCES, RESOLUTIONS AND REGULATIONS OF THE CITY; PROVIDING FOR AMENDMENT TO THE OFFICIAL MAP; DIRECTING THE CITY SECRETARY TO FILE COPY WITH COUNTY CLERK AND APPRAISAL DISTRICT; ADOPTING A SERVICE PLAN; PROVIDING A CUMULATIVE CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING AREAS EXCEPTED FROM ANNEXATION; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City of Fredericksburg, Texas, is a home rule city acting under its charter adopted by the electorate pursuant to Article XI, Section 5 of the Texas Constitution and Chapter 9 of the Texas Local Government Code; and

WHEREAS, the Texas Local Government Code, the City Charter of the City of Fredericksburg and the laws of the State authorize the annexation of territory by the City, subject to the requirements therein and the laws of this State; and

WHEREAS, the property owner has submitted a petition for voluntary annexation of the herein described real property (Hitchin' Post Trail) in accordance with Chapter 43 of the Texas Local Government Code; and

WHEREAS, after proper notice was provided in accordance with Chapter 43 of the Texas Local Government Code, a public hearing on the proposed annexations were held before the Fredericksburg City Council on November 19, 2024; and

WHEREAS, all the property described below and in Exhibit "A" is within the exclusive extraterritorial jurisdiction of the City of Fredericksburg and is contiguous to the City; and

WHEREAS, a Service Plan has been prepared and presented at the public hearing and is attached to and adopted with this Ordinance; and

WHEREAS, all requirements of law have been met for annexation of the Territory in compliance with Chapter 43 of the Texas Local Government Code.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF FREDERICKSBURG, TEXAS:

SECTION ONE. Findings of Fact. All the above premises are hereby found to be true and correct legislative and factual findings of the City Council and are hereby approved and incorporated into the body of this ordinance as if copied in their entirety.

SECTION TWO. Annexation. All portions of the described property located at 97 Hitchin' Post Trail, also referred to as approximately 18.7 Acres of land described as the Samuel R. Wilson Survey NO. 38, Abstract NO. 735 of Gillespie County, Texas, as described in Exhibit "A" and as depicted on the map attached as Exhibit "B", which is incorporated into this ordinance for all purposes (the Territory) located in Gillespie County, Texas, are hereby annexed to the City of Fredericksburg as a part of the city for all municipal purposes, and the city limits are extended to include the Territory. The owners and inhabitants of the Territory are entitled to all the rights and privileges of all other citizens and property owners of the City of Fredericksburg and are bound by all acts, ordinances, and all other legal action now in full force and effect and all those which may be subsequently adopted.

SECTION THREE. Official Map. The official map and boundaries of the City, previously adopted, are amended to include the Territory as a part of the City of Fredericksburg, Texas. The City Secretary is directed and authorized to perform or cause to be performed all acts necessary to correct the official map of the city to add the territory annexed as required by law.

SECTION FOUR. Duty to Record. The City Secretary is directed to file or cause to be filed a certified copy of this ordinance in the offices of the County Clerk of Gillespie County, Texas and with the Gillespie County Appraisal District.

SECTION FIVE. Service Plan. The Service Plan for the Territory, attached as Exhibit "C" and incorporated in this Ordinance, is approved in all things and made a part of this ordinance for all purposes.

SECTION SIX. Cumulative Clause. This ordinance shall be cumulative of all provisions of ordinances of the City of Fredericksburg, Texas, except where the provisions of this ordinance are in direct conflict with the provisions of such ordinances, in which event the conflicting provisions of such ordinances are hereby repealed.

SECTION SEVEN. Severability Clause. Should any section or part of this ordinance be held unconstitutional, illegal or invalid, or the application thereof, the unconstitutionality, illegality, invalidity or ineffectiveness of such section or part shall in no way affect, impair or invalidate the remaining portion or portions thereof, but as to such remaining portions, the same shall be and remain in full force and effect.

SECTION EIGHT. Areas Excepted from Annexation. Should this ordinance for any reason be ineffective as to any part of the area hereby annexed to the City of Fredericksburg, such ineffectiveness of this ordinance as to any such part or parts of any such area shall not affect the effectiveness of this ordinance as to the remainder of such area. The City Council hereby declares it to be its purpose to annex to the City of Fredericksburg every part of the area described in Section 1 and Exhibits "A" and "B" of this ordinance, regardless of whether any part of such described

area is hereby not effectively annexed to the City. Provided, further, that if there is included within the general description of territory set out in Section 1 and Exhibits “A” and “B” of this ordinance to be hereby annexed to the City of Fredericksburg any lands or area which are presently part of and included within the limits of any other city, town or village, for which permission is not granted for Fredericksburg to annex, the same is hereby excluded and excepted from the territory to be annexed hereby as fully as if such excluded and excepted area were expressly described in this ordinance, if permission has not been granted.

SECTION NINE. Effective Date. This Ordinance shall become effective immediately upon its passage, and it is so ordained.

PASSED AND APPROVED this the 4th day of February, 2025, at a Regular Meeting of the City Council of the City of Fredericksburg, Texas.

CITY OF FREDERICKSBURG

Jeryl Hoover, Mayor

ATTEST:

Letty Vacek, City Secretary

APPROVED AS TO FORM:

Mick McKamie, City Attorney

EXHIBIT “A”
PROPERTY DESCRIPTION



Open Range Field Services, LLC

P. O. Box 2372, Pampa, TX 79066-2372
39350 IH-10 West, Ste. 1, Boerne, TX 78006

LEGAL DESCRIPTION

"TRACT 2"

14.434 ACRES

"EXHIBIT A"

BEING 14.434 ACRES OF LAND SITUATED IN THE SAMUEL R. WILSON SURVEY NO. 38, ABSTRACT NO. 735 OF GILLESPIE COUNTY, TEXAS, SAID 14.434 BEING COMPRISED OF THE REMAINDER OF A CALLED 5.373 ACRE "TRACT I," ALL OF A CALLED 6.541 ACRE "TRACT II," AND THE REMAINDER OF A CALLED 6.817 ACRE "TRACT III," OF THE FREDERICKSBURG DEVELOPMENT, INC. TRACTS RECORDED IN DOCUMENT NO. 20193379 OF THE OFFICIAL PUBLIC RECORDS OF GILLESPIE COUNTY, TEXAS, (OPRGCT) SAID 14.434 ACRES BEING MORE FULLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING at a set 1/2" rebar with cap stamped "OPEN RANGE FS 10194069" for the northwest corner of this tract, being the northwest corner of said remainder of "TRACT I," being the southwest corner of the remainder of the FREDERICKSBURG DEVELOPMENT, INC. called 219.460 acre tract recorded in Document No. 20181539, OPRGCT, being on the eastern Right-of-Way of UNITED STATES HIGHWAY 87 (Variable Width Public R.O.W.), and being the southwest corner of OTTO ECKHARDT ROAD recorded in Document No. 20104425, OPRGCT, from which the northwest corner of said remainder of the FREDERICKSBURG DEVELOPMENT, INC. called 219.460 acre tract bears North 00°16'29" West a distance of 860.80 feet;

THENCE, South 89°47'03" East a distance of 158.66 feet, along a northern boundary of this tract, being the northern boundary of said remainder of "TRACT I," being a southern boundary of said remainder of the FREDERICKSBURG DEVELOPMENT, INC., called 219.460 acre tract, and being the southern boundary of said OTTO ECKHARDT ROAD, to a found 1/2" rebar with cap stamped "OPEN RANGE FS 10194069" for a northeast corner of this tract, being the northwest corner of the FRIEDEN COMMERCIAL 1, LLC 4.229 acre tract recorded in Document No. 20217535, OPRGCT;

THENCE, South 00°37'47" East a distance of 416.73 feet, through the interior of said "TRACT I," along an eastern boundary of this tract, being the western boundary of said FRIEDEN COMMERCIAL 1, LLC 4.229 acre tract to a set 1/2" rebar with cap stamped "OPEN RANGE FS 10194069" for an interior corner of this tract, being the southwest corner of said FRIEDEN COMMERCIAL 1, LLC 4.229 acre tract, being on the southern boundary of said "TRACT I," a northern boundary of said "TRACT III," being on the northern boundary of HITCHIN POST TRAIL (40' wide access easement) a called 0.55 acre tract recorded in Volume 342, Pages 393-408, OPRGCT;

THENCE, North 89°37'54" East, at 415.31 feet passing a found and disturbed 1/2" rebar with no identification for the southeast corner of said "TRACT I," continuing for a total distance of 455.39 feet to a set 1/2" rebar with cap stamped "OPEN RANGE FS 10194069" for an interior corner of this tract, being the southeast corner of said FRIEDEN COMMERCIAL 1, LLC 4.229 acre tract;

THENCE, North 00°37'47" West a distance of 416.73 feet, through the interior of said "TRACT III," along a western boundary of this tract, being the eastern boundary of said FRIEDEN COMMERCIAL 1, LLC 4.229 acre tract, to a set 1/2" rebar with cap stamped "OPEN RANGE FS 10194069" for a northwest corner of this tract, being the northeast corner of said FRIEDEN COMMERCIAL 1, LLC 4.229 acre tract, being on the southern boundary of said remainder of the FREDERICKSBURG DEVELOPMENT, INC. called 219.460 acre tract, and being on the southern boundary of said OTTO ECKHARDT ROAD;

THENCE, South 89°47'03" East a distance of 560.90 feet, along the northern boundary of this tract, being the northern boundary of said "TRACT III," being the southern boundary of said remainder of the FREDERICKSBURG DEVELOPMENT, INC. called 219.460 acre tract, and being the southern boundary of said OTTO ECKHARDT ROAD, to a found 1/2" rebar with cap stamped "TXLMS.COM RPLS 6002" for a northeast corner of this tract, being a northeast corner of said "TRACT III," and being an interior corner of said remainder of the FREDERICKSBURG DEVELOPMENT, INC. called 219.460 acre tract;

THENCE, South 04°24'09" East a distance of 108.22 feet, departing the boundary of said OTTO ECKHARDT ROAD, along an eastern boundary of this tract, being an eastern boundary of said "TRACT III," being a western boundary of said remainder of the FREDERICKSBURG DEVELOPMENT, INC. called 219.460 acre tract to a found 1/2" rebar with cap stamped "TXLMS.COM RPLS 6002" for an interior corner of this tract, being an interior corner of said "TRACT III," being a southwest corner of said remainder of the FREDERICKSBURG DEVELOPMENT, INC. called 219.460 acre tract;

THENCE, North 88°25'51" East a distance of 122.63 feet, along a northern boundary of this tract, being a northern boundary of said "TRACT III," being a southern boundary of said remainder of the FREDERICKSBURG DEVELOPMENT, INC. called 219.460 acre tract, to a found 1/2" rebar with an illegible cap for a northeast corner of this tract, being a northeast corner of said "TRACT III," being an interior corner of said FREDERICKSBURG DEVELOPMENT, INC 219.460 acre tract, and being an interior corner of said OTTO ECKHARDT ROAD;

THENCE, South 00°02'50" West a distance of 271.51 feet, along an eastern boundary of this tract, being an eastern boundary of said "TRACT III," being a western boundary of said remainder of the FREDERICKSBURG DEVELOPMENT, INC. called 219.460 acre tract, and being a western boundary of said OTTO ECKHARDT ROAD, to a found 1/2" rebar with no identification for an angle point on the eastern boundary of this tract, being an angle corner of said "TRACT III," being a southwest corner of said remainder of the FREDERICKSBURG DEVELOPMENT, INC. called 219.460 acre tract, and being a northwest corner of the JAMES & MICHELLE HOYO called 11.353 acre tract, recorded in Document No. 20216477, OPRGCT;

Open Range Field Services, LLC. has offices in Texas with TBPELS Firm No.: 10193994 (Pampa) & 10194069 (Boerne).



Open Range Field Services, LLC

P. O. Box 2372, Pampa, TX 79066-2372
39350 IH-10 West, Ste. 1, Boerne, TX 78006

THENCE, South 00°05'00" East a distance of 27.17 feet, continuing along an eastern boundary of this tract, being an eastern boundary of said "TRACT III, being a western boundary of said HOYO called 11.353 acre tract, being a western boundary of said OTTO ECKHARDT ROAD, to a found 1/2" rebar with no identification for an exterior corner of this tract, being the southeast corner of said "TRACT III," and being an interior corner of the said HOYO called 11.353 acre tract;

THENCE, South 88°25'16" West a distance of 91.54 feet, along a southern boundary of this tract, being a southern boundary of said "TRACT III," being a northern boundary of said HOYO called 11.353 acre tract to a found 1/2" rebar with no identification for an interior corner of this tract, being an angle corner of said "TRACT III," being a northwest corner of said HOYO called 11.353 acre tract, and being the northeast corner of said "TRACT II;"

THENCE, South 00°24'57" East a distance of 456.22 feet, along the eastern boundary of this tract, being the eastern boundary of said "TRACT II," being the western boundary of said HOYO called 11.353 acre tract to a found 1/2" rebar with no identification for the southeast corner of this tract, an angle point on the western boundary of said HOYO called 11.353 acre tract, being a northeast corner of the KENNETH R. & SUZANNE RODDY 6.67 acre tract, recorded in Volume 342, Page 849, OPRGCT;

THENCE South 89°27'30" West a distance of 596.76 feet, along a southern boundary of this tract, being a southern boundary of said "TRACT II," being the northern boundary of said RODDY 6.67 acre tract, to a found 1/2" rebar with no identification for a southwest corner of this tract, being the southwest corner of said "TRACT II," being the northwest corner of said RODDY 6.67 acre tract, being the northeast corner of the GREGORY S. & DIANA S. GREMMER 6.01 acre tract, recorded in Document No. 20181043, OPRGCT, and being the southeast corner of the HSB NORTH, LLC called 5.77 acre tract, recorded in Document No. 2020200676, OPRGCT;

THENCE North 00°33'40" West a distance of 417.64 feet, along a western boundary of this tract, being a western boundary of said "TRACT II," being the eastern boundary of said HSB NORTH, LLC called 5.77 acre tract, to a set 1/2" rebar with cap stamped "OPEN RANGE FS 10194069" for the an interior corner of this tract, being the northeast corner of said HSB NORTH, LLC called 5.77 acre tract, and being the southeast corner of said HITCHIN POST TRAIL;

THENCE South 89°37'54" West a distance of 599.43 feet, along a southern boundary of this tract, being a southern boundary of said "TRACT II," being the northern boundary of said HSB NORTH, LLC called 5.77 acre tract, being the southern boundary of said HITCHIN POST TRAIL, to a found 1/2" rebar with no identification for a southwest corner of this tract, being the northwest corner of said HSB NORTH, LLC called 5.77 acre tract, being the southwest corner of said HITCHIN POST TRAIL, and being on the eastern Right-of-Way of UNITED STATES HIGHWAY 87 (Variable Width Public R.O.W.);

THENCE, North 01°16'59" West, at 40.00 feet passing a found 1/2" rebar with cap stamped "OPEN RANGE FS 10194069" for the southwest corner of said "TRACT I," being the northeast corner of said HITCHIN POST TRAIL, continuing for a total distance of 458.34 feet to the **POINT OF BEGINNING**.

CONTAINING: 14.434 acres of land.

The Basis of Bearings is Texas State Plane Coordinate System, Central Zone, NAD 1983. Distances and acreages are reported in ground. This description was based on a survey made on the ground under my supervision completed on April 17, 2023 from which a map of survey was prepared and made a part hereof.

W. Andrew McLaughlin, RPLS #6473
Job No. ORFSB-1000-576 (CEK|WAM) | May 12, 2023
39350 IH-10 West, Suite 1
Boerne, TX 78006
830.428.0290 | BTX@openrangefs.com

EXHIBIT “B”
MAP OF PROPERTY

FIRST AMENDMENT TO ANNEXATION AGREEMENT

This FIRST AMENDMENT TO ANNEXATION AGREEMENT (this "First Amendment") is made and entered into effective as of the ____ day of _____, 20____ (the "First Amendment Effective Date") by and between FREDERICKSBURG DEVELOPMENT, INC., a Texas corporation ("FDI"), whose address is 1020 NE Loop 410, Suite 802, San Antonio, Texas 78209, and the CITY OF FREDERICKSBURG, a Texas municipal corporation (the "City"), whose address is 126 West Main Street, Fredericksburg, Texas 78624. FDI and the City are sometimes referred to together as the "Parties" or separately as a "Party".

WHEREAS, the Parties entered into that certain Annexation Agreement dated August 7, 2017 (the "Agreement"), wherein the Parties agreed, among other things, to have certain real property owned by FDI containing approximately 219.463 acres and described therein (the "Property") annexed to the City of Fredericksburg;

WHEREAS, in addition to the Property, FDI owns two tracts of land described on **Exhibit A** attached hereto which are adjacent to the Property (the "Adjacent Property");

WHEREAS, the Parties wish to amend the Agreement to include the Adjacent Property in the Agreement, among other amendments, as described herein;

WHEREAS, unless the context otherwise requires, all capitalized terms used in this First Amendment without definition will have the definitions provided for such terms in the Agreement.

NOW, THEREFORE, in consideration of the mutual promises contained in this First Amendment, and other good and valuable consideration, the receipt and adequacy of which are hereby acknowledged, the Parties confirm and agree as follows:

1. **Adjacent Property.** The Agreement is amended to include the Adjacent Property in the Property described in the Agreement. Any references to the Development, the Property or the 219.463 acres of land in the Agreement shall include the Adjacent Property.

2. **Exhibits.** The exhibits to the Agreement are amended as follows.

(a) Exhibit B (Concept Plan) of the Agreement is replaced with **Exhibit B** attached hereto.

(b) Exhibit C (Zoning) of the Agreement is replaced with **Exhibit C** attached hereto.

(c) Exhibit D (Private Streets) of the Agreement is replaced with **Exhibit D** attached hereto.

(d) Exhibit E (Public Streets and Utilities) of the Agreement is replaced with **Exhibit E** attached hereto.

3. **Miscellaneous.**

(a) This First Amendment and the Agreement set forth the entire understanding and agreement of the Parties and supersede any prior negotiations and agreements between them.

(b) Except for those terms amended by this First Amendment, the Agreement remains in effect as written. If any conflict occurs between the terms of this First Amendment and the terms of the Agreement, the terms of this First Amendment control.

(c) This First Amendment may be executed in one or more counterparts, each of which shall be an original and taken together shall constitute one and the same document. Signature pages may be detached from the counterparts and attached to a single copy of this document to physically form one document.

[Signature page follows]

IN WITNESS WHEREOF, the Parties have caused this First Amendment to be executed on the dates set forth below but effective as of the First Amendment Effective Date first set forth above.

FREDERICKSBURG DEVELOPMENT, INC., a Texas corporation

By: [Signature]
Name: STEPHEN B. WILDE
Title: PRESIDENT

CITY OF FREDERICKSBURG

By: _____
Clinton Bailey, City Manager

THE STATE OF TEXAS §
 §
COUNTY OF Bexar §

This instrument was acknowledged before me on this 11th day of January, 2025, by Stephen B. Wilde, the President of FREDERICKSBURG DEVELOPMENT, INC., a Texas corporation, on its behalf.

[Signature]
Notary Public, State of Texas



THE STATE OF TEXAS §
 §
COUNTY OF GILLESPIE §

This instrument was acknowledged before me on this _____ day of _____, 2017, by Clinton Bailey, City Manager of the CITY OF FREDERICKSBURG, on its behalf.

Notary Public, State of Texas

After recording, return to:
FREDERICKSBURG DEVELOPMENT, INC
1020 NE Loop 410, Suite 802
San Antonio, Texas 78209

EXHIBIT A

ADJACENT PROPERTY

[Description Follows on Next Pages]

BEING 14.434 ACRES OF LAND SITUATED IN THE SAMUEL R. WILSON SURVEY NO. 38, ABSTRACT NO. 735 OF GILLESPIE COUNTY, TEXAS, SAID 14.434 BEING COMPRISED OF THE REMAINDER OF A CALLED 5.373 ACRE "TRACT I," ALL OF A CALLED 6.541 ACRE "TRACT II," AND THE REMAINDER OF A CALLED 6.817 ACRE "TRACT III," OF THE FREDERICKSBURG DEVELOPMENT, INC. TRACTS RECORDED IN DOCUMENT NO. 20193379 OF THE OFFICIAL PUBLIC RECORDS OF GILLESPIE COUNTY, TEXAS, (OPRGCT) SAID 14.434 ACRES BEING MORE FULLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING at a set 1/2" rebar with cap stamped "OPEN RANGE FS 10194069" for the northwest corner of this tract, being the northwest corner of said remainder of "TRACT I," being the southwest corner of the remainder of the FREDERICKSBURG DEVELOPMENT, INC. called 219.460 acre tract recorded in Document No. 20181539, OPRGCT, being on the eastern Right-of-Way of UNITED STATES HIGHWAY 87 (Variable Width Public R.O.W.), and being the southwest corner of OTTO ECKHARDT ROAD recorded in Document No. 20104425, OPRGCT, from which the northwest corner of said remainder of the FREDERICKSBURG DEVELOPMENT, INC. called 219.460 acre tract bears North 00°16'29" West a distance of 860.80 feet;

THENCE, South 89°47'03" East a distance of 158.66 feet, along a northern boundary of this tract, being the northern boundary of said remainder of "TRACT I," being a southern boundary of said remainder of the FREDERICKSBURG DEVELOPMENT, INC., called 219.460 acre tract, and being the southern boundary of said OTTO ECKHARDT ROAD, to a found 1/2" rebar with cap stamped "OPEN RANGE FS 10194069" for a northeast corner of this tract, being the northwest corner of the FRIEDEN COMMERCIAL 1, LLC 4.229 acre tract recorded in Document No. 20217535, OPRGCT;

THENCE, South 00°37'47" East a distance of 416.73 feet, through the interior of said "TRACT I," along an eastern boundary of this tract, being the western boundary of said FRIEDEN COMMERCIAL 1, LLC 4.229 acre tract to a set 1/2" rebar with cap stamped "OPEN RANGE FS 10194069" for an interior corner of this tract, being the southwest corner of said FRIEDEN COMMERCIAL 1, LLC 4.229 acre tract, being on the southern boundary of said "TRACT I," a northern boundary of said "TRACT III," being on the northern boundary of HITCHIN POST TRAIL (40' wide access easement) a called 0.55 acre tract recorded in Volume 342, Pages 393-408, OPRGCT;

THENCE, North 89°37'54" East, at 415.31 feet passing a found and disturbed 1/2" rebar with no identification for the southeast corner of said "TRACT I," continuing for a total distance of 455.39 feet to a set 1/2" rebar with cap stamped "OPEN RANGE FS 10194069" for an interior corner of this tract, being the southeast corner of said FRIEDEN COMMERCIAL 1, LLC 4.229 acre tract;

THENCE, North 00°37'47" West a distance of 416.73 feet, through the interior of said "TRACT III," along a western boundary of this tract, being the eastern boundary of said FRIEDEN COMMERCIAL 1, LLC 4.229 acre tract, to a set 1/2" rebar with cap stamped "OPEN RANGE FS 10194069" for a northwest corner of this tract, being the northeast corner of said FRIEDEN COMMERCIAL 1, LLC 4.229 acre tract, being on the southern boundary of said remainder of the FREDERICKSBURG DEVELOPMENT, INC. called 219.460 acre tract, and being on the southern boundary of said OTTO ECKHARDT ROAD;

THENCE, South 89°47'03" East a distance of 560.90 feet, along the northern boundary of this tract, being the northern boundary of said "TRACT III," being the southern boundary of said remainder of the FREDERICKSBURG DEVELOPMENT, INC. called 219.460 acre tract, and being the southern boundary of said OTTO ECKHARDT ROAD, to a found 1/2" rebar with cap stamped "TXLMS.COM RPLS 6002" for a northeast corner of this tract, being a northeast corner of said "TRACT III," and being an interior corner of said remainder of the FREDERICKSBURG DEVELOPMENT, INC. called 219.460 acre tract;

THENCE, South 04°24'09" East a distance of 108.22 feet, departing the boundary of said OTTO ECKHARDT ROAD, along an eastern boundary of this tract, being an eastern boundary of said "TRACT III," being a western boundary of said remainder of the FREDERICKSBURG DEVELOPMENT, INC. called 219.460 acre tract to a found 1/2" rebar with cap stamped "TXLMS.COM RPLS 6002" for an interior corner of this tract, being an interior corner of said "TRACT III," being a southwest corner of said remainder of the FREDERICKSBURG DEVELOPMENT, INC. called 219.460 acre tract;

THENCE, North 88°25'51" East a distance of 122.63 feet, along a northern boundary of this tract, being a northern boundary of said "TRACT III," being a southern boundary of said remainder of the FREDERICKSBURG DEVELOPMENT, INC. called 219.460 acre tract, to a found 1/2" rebar with an illegible cap for a northeast corner of this tract, being a northeast corner of said "TRACT III," being an interior corner of said FREDERICKSBURG DEVELOPMENT, INC 219.460 acre tract, and being an interior corner of said OTTO ECKHARDT ROAD;

THENCE, South 00°02'50" West a distance of 271.51 feet, along an eastern boundary of this tract, being an eastern boundary of said "TRACT III," being a western boundary of said remainder of the FREDERICKSBURG DEVELOPMENT, INC. called 219.460 acre tract, and being a western boundary of said OTTO ECKHARDT ROAD, to a found 1/2" rebar with no identification for an angle point on the eastern boundary of this tract, being an angle corner of said "TRACT III," being a southwest corner of said remainder of the FREDERICKSBURG DEVELOPMENT, INC. called 219.460 acre tract, and being a northwest corner of the JAMES & MICHELLE HOYO called 11.353 acre tract, recorded in Document No. 20216477, OPRGCT;

Open Range Field Services, LLC. has offices in Texas with TBPELS Firm No.: 10193994 (Pampa) & 10194069 (Boerne).

THENCE, South 00°05'00" East a distance of 27.17 feet, continuing along an eastern boundary of this tract, being an eastern boundary of said "TRACT III," being a western boundary of said HOYO called 11.353 acre tract, being a western boundary of said OTTO ECKHARDT ROAD, to a found 1/2" rebar with no identification for an exterior corner of this tract, being the southeast corner of said "TRACT III," and being an interior corner of the said HOYO called 11.353 acre tract;

THENCE, South 88°25'16" West a distance of 91.54 feet, along a southern boundary of this tract, being a southern boundary of said "TRACT III," being a northern boundary of said HOYO called 11.353 acre tract to a found 1/2" rebar with no identification for an interior corner of this tract, being an angle corner of said "TRACT III," being a northwest corner of said HOYO called 11.353 acre tract, and being the northeast corner of said "TRACT II;"

THENCE, South 00°24'57" East a distance of 456.22 feet, along the eastern boundary of this tract, being the eastern boundary of said "TRACT II," being the western boundary of said HOYO called 11.353 acre tract to a found 1/2" rebar with no identification for the southeast corner of this tract, an angle point on the western boundary of said HOYO called 11.353 acre tract, being a northeast corner of the KENNETH R. & SUZANNE RODDY 6.67 acre tract, recorded in Volume 342, Page 849, OPRGCT;

THENCE South 89°27'30" West a distance of 596.76 feet, along a southern boundary of this tract, being a southern boundary of said "TRACT II," being the northern boundary of said RODDY 6.67 acre tract, to a found 1/2" rebar with no identification for a southwest corner of this tract, being the southwest corner of said "TRACT II," being the northwest corner of said RODDY 6.67 acre tract, being the northeast corner of the GREGORY S. & DIANA S. GREMMER 6.01 acre tract, recorded in Document No. 20181043, OPRGCT, and being the southeast corner of the HSB NORTH, LLC called 5.77 acre tract, recorded in Document No. 2020200676, OPRGCT;

THENCE North 00°33'40" West a distance of 417.64 feet, along a western boundary of this tract, being a western boundary of said "TRACT II," being the eastern boundary of said HSB NORTH, LLC called 5.77 acre tract, to a set 1/2" rebar with cap stamped "OPEN RANGE FS 10194069" for the an interior corner of this tract, being the northeast corner of said HSB NORTH, LLC called 5.77 acre tract, and being the southeast corner of said HITCHIN POST TRAIL;

THENCE South 89°37'54" West a distance of 599.43 feet, along a southern boundary of this tract, being a southern boundary of said "TRACT II," being the northern boundary of said HSB NORTH, LLC called 5.77 acre tract, being the southern boundary of said HITCHIN POST TRAIL, to a found 1/2" rebar with no identification for a southwest corner of this tract, being the northwest corner of said HSB NORTH, LLC called 5.77 acre tract, being the southwest corner of said HITCHIN POST TRAIL, and being on the eastern Right-of-Way of UNITED STATES HIGHWAY 87 (Variable Width Public R.O.W.);

THENCE, North 01°16'59" West, at 40.00 feet passing a found 1/2" rebar with cap stamped "OPEN RANGE FS 10194069" for the southwest corner of said "TRACT I," being the northeast corner of said HITCHIN POST TRAIL, continuing for a total distance of 458.34 feet to the **POINT OF BEGINNING**.

CONTAINING: 14.434 acres of land.



The Basis of Bearings is Texas State Plane Coordinate System, Central Zone, NAD 1983. Distances and acreages are reported in ground. This description was based on a survey made on the ground under my supervision completed on April 17, 2023 from which a map of survey was prepared and made a part hereof.

W. Andrew McLaughlin, RPLS #6473
Job No. ORFSB-1000-576 (CEK[WAM]) | May 12, 2023
39350 IH-10 West, Suite 1
Boerne, TX 78006
830.428.0290 | BTX@openrangefs.com



Open Range Field Services, LLC

P. O. Box 2372, Pampa, TX 79066-2372
39350 IH-10 West, Ste. 1, Boerne, TX 78006

LEGAL DESCRIPTION FOR 4.299 ACRES

BEING 4.299 ACRES OF LAND SITUATED IN THE SAMUEL R. WILSON SURVEY No. 38, ABSTRACT No. 735, OF GILLESPIE COUNTY, TEXAS, SAID 4.299 ACRES BEING COMPRISED OF 3.920 ACRES OUT OF THE FREDERICKSBURG DEVELOPMENT INC. 5.373 ACRE TRACT CALLED "TRACT I," RECORDED IN DOCUMENT NO. 20193379, OFFICIAL PUBLIC RECORDS OF GILLESPIE COUNTY, TEXAS (OPRGCT), AND 0.379 ACRES OUT OF THE FREDERICKSBURG DEVELOPMENT INC. 6.817 ACRE TRACT CALLED "TRACT III," RECORDED IN DOCUMENT NO. 2019339, OPRGCT, SAID 4.299 ACRES BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING at a found 1/2" rebar with cap stamped "OPEN RANGE FS 10194069" for the southwest corner of said 5.373 acre tract, and being on the eastern Right-of-Way of US HIGHWAY 87 (variable width PUBLIC Right-of-Way), being the northwest corner of HITCHIN POST TRAIL, an access easement described in Volume 342, Pages 398-408 OPRGCT, and being a southwesterly corner of said 6.817 acre tract, from which a found 1/2" rebar with no identification for the northwest corner of said 5.373 tract bears North 01°16'59" West for 418.34 feet for reference;

THENCE, North 89°37'54" East a distance of 144.72 feet, along the southern boundary of said 5.373 acre tract, being the northern boundary of said HITCHIN POST TRAIL, and being a northern boundary of said 6.817 acre tract, to a set 1/2" rebar with cap stamped "OPEN RANGE FS 10194069" for the southwest corner of the herein described tract and the **POINT OF BEGINNING**;

THENCE, North 00°37'47" East a distance of 416.73 feet, through the interior of said 5.373 acre tract, along the western boundary of this tract, to a set 1/2" rebar with cap stamped "OPEN RANGE FS 10194069" for the northwest corner of this tract, being on the northern boundary of said 5.373 acre tract;

THENCE, South 89°47'03" East, at 408.36 feet passing a found 1/2" rebar with no identification for the northeast corner of said 5.373 acre tract, being the northwest corner of said 6.817 acre tract, continuing for a total distance of 448.44 feet, along the northern boundary of this tract, being the northern boundary of said 5.373 acre tract, and becoming the northern boundary of said 6.817 acre tract;

THENCE, South 00°19'43" East a distance of 412.09 feet, through the interior of said 6.817 acre tract, along the eastern boundary of this tract, to a found 1/2" rebar with cap stamped "OPEN RANGE FS 10194069" for the southeast corner of this tract, being a southerly interior corner of said 6.817 acre tract, being the northeast corner of said HITCHIN POST TRAIL, and being a northwest corner of the FREDERICKSBURG DEVELOPMENT INC. 6.541 acre tract called "TRACT II," recorded in Document No. 20193379, OPRGCT;

THENCE, South 89°37'54" West, through the interior of said 6.817 acre tract, at 40.08 feet passing a found 1/2" rebar with cap stamped "OPEN RANGE FS 10194069" for the southeast corner of said 5.373 acre tract, being an interior corner of said 6.817 acre tract, continuing for a total distance of 455.39 feet, along the southern boundary of this tract, becoming the southern boundary of said 5.373 acre tract, and becoming a northern boundary of said 6.817 acre tract, to the **POINT OF BEGINNING**.

CONTAINING: 4.299 acres of land.



The Basis of Bearings is Texas State Plane Coordinate System, South Central Zone, NAD 1983. This description was based on a survey made on the ground under my supervision completed on June 23, 2021 from which an exhibit was prepared.

W. Andrew McLaughlin

W. Andrew McLaughlin, RPLS #6473
Job No. ORFSB-1000-144 (CEK/WAM) | June 25, 2021

EXHIBIT B
CONCEPT PLAN
(Attached)



EXHIBIT B AMENDMENT 1 (CONCEPT PLAN)

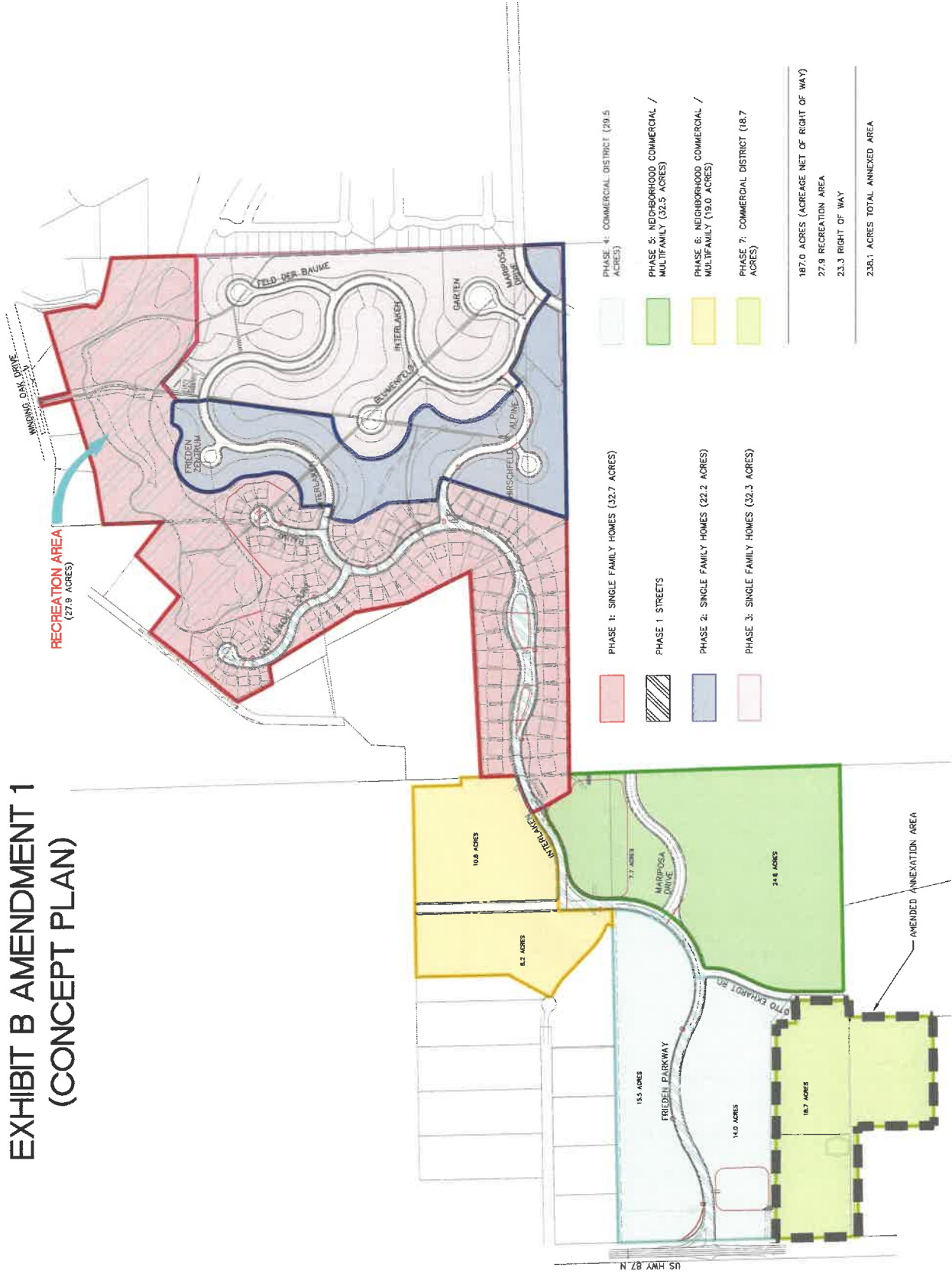


EXHIBIT C

ZONING

(Attached)

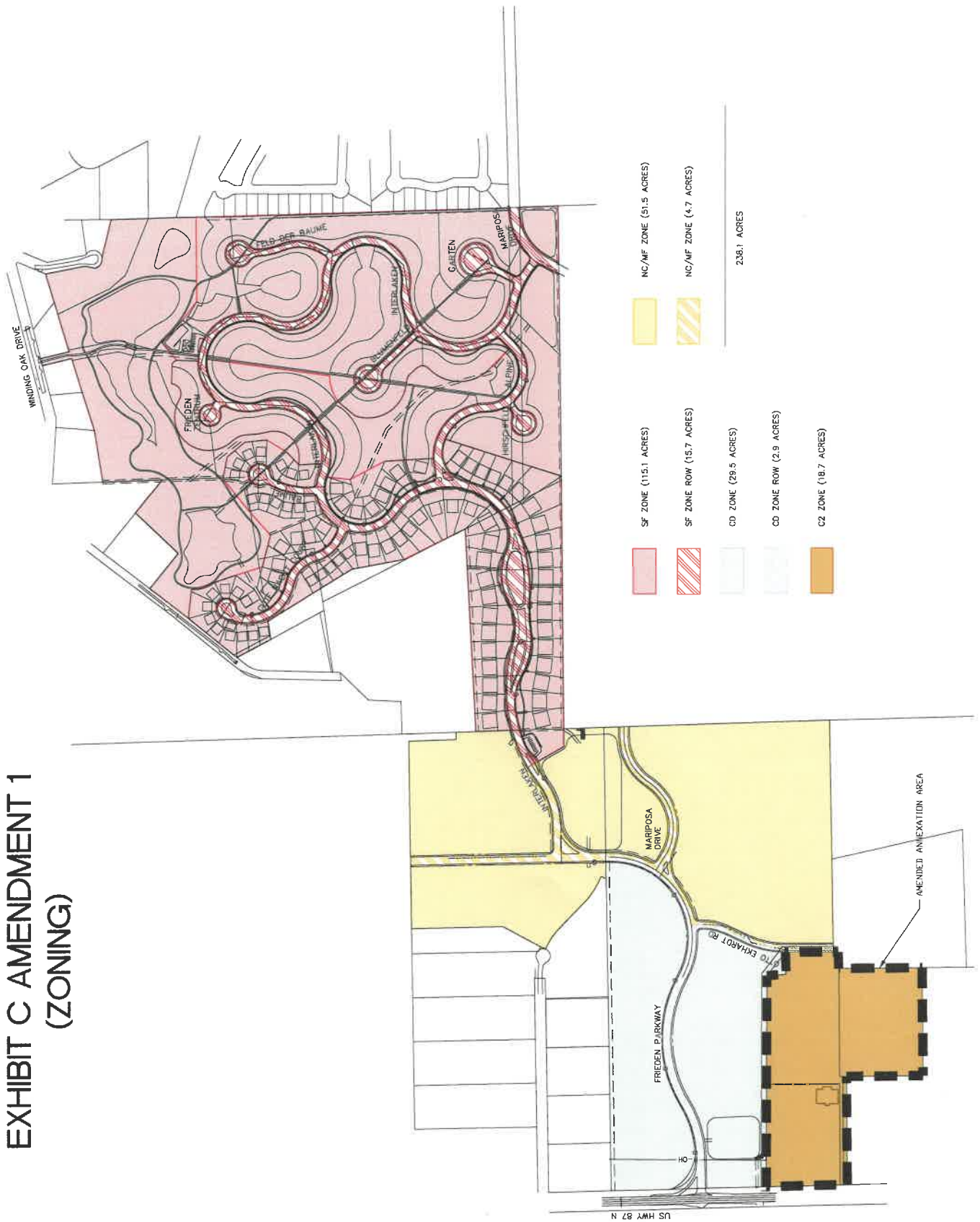


EXHIBIT D
PRIVATE STREETS
(Attached)



EXHIBIT D AMENDMENT 1 (PRIVATE STREETS)

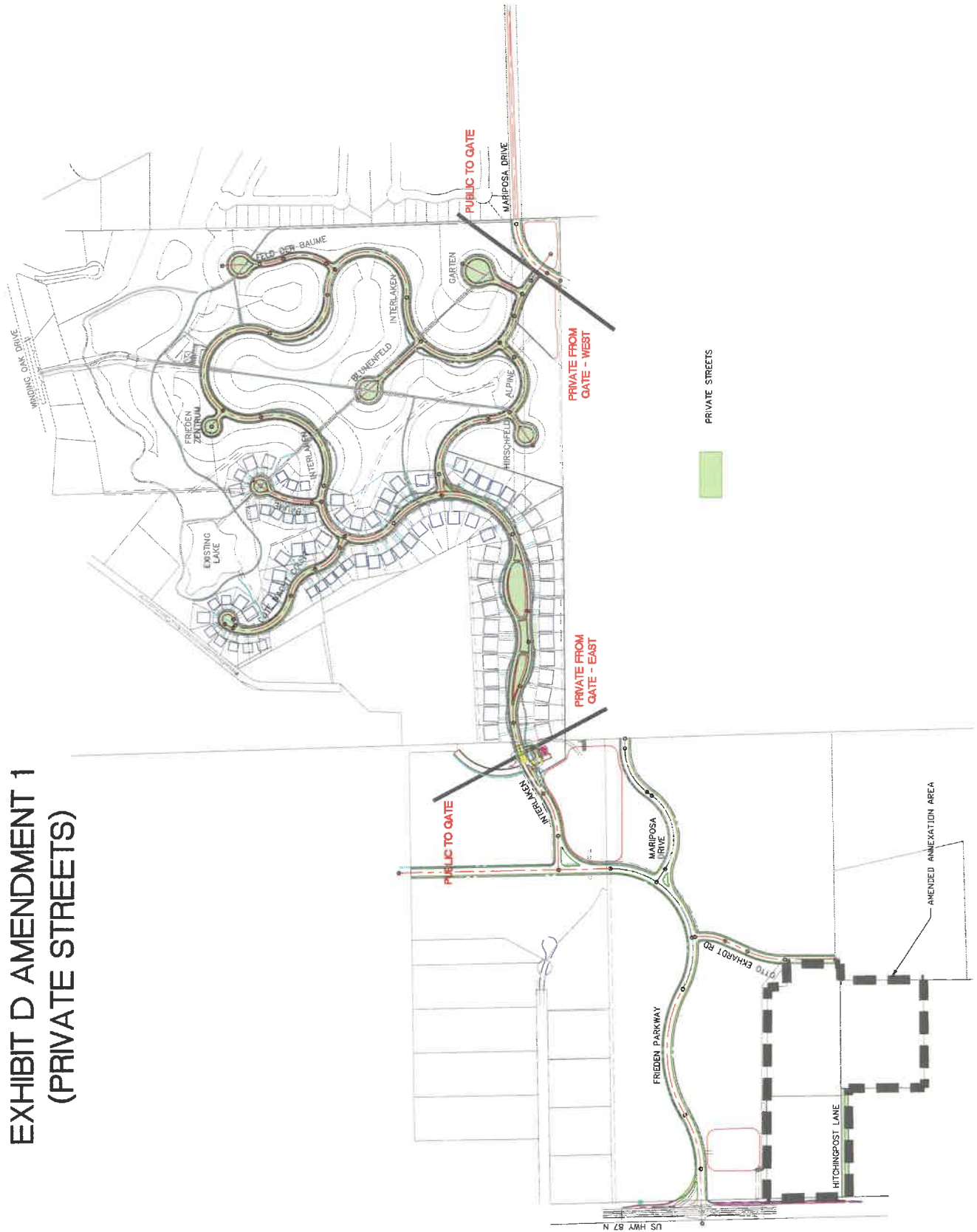
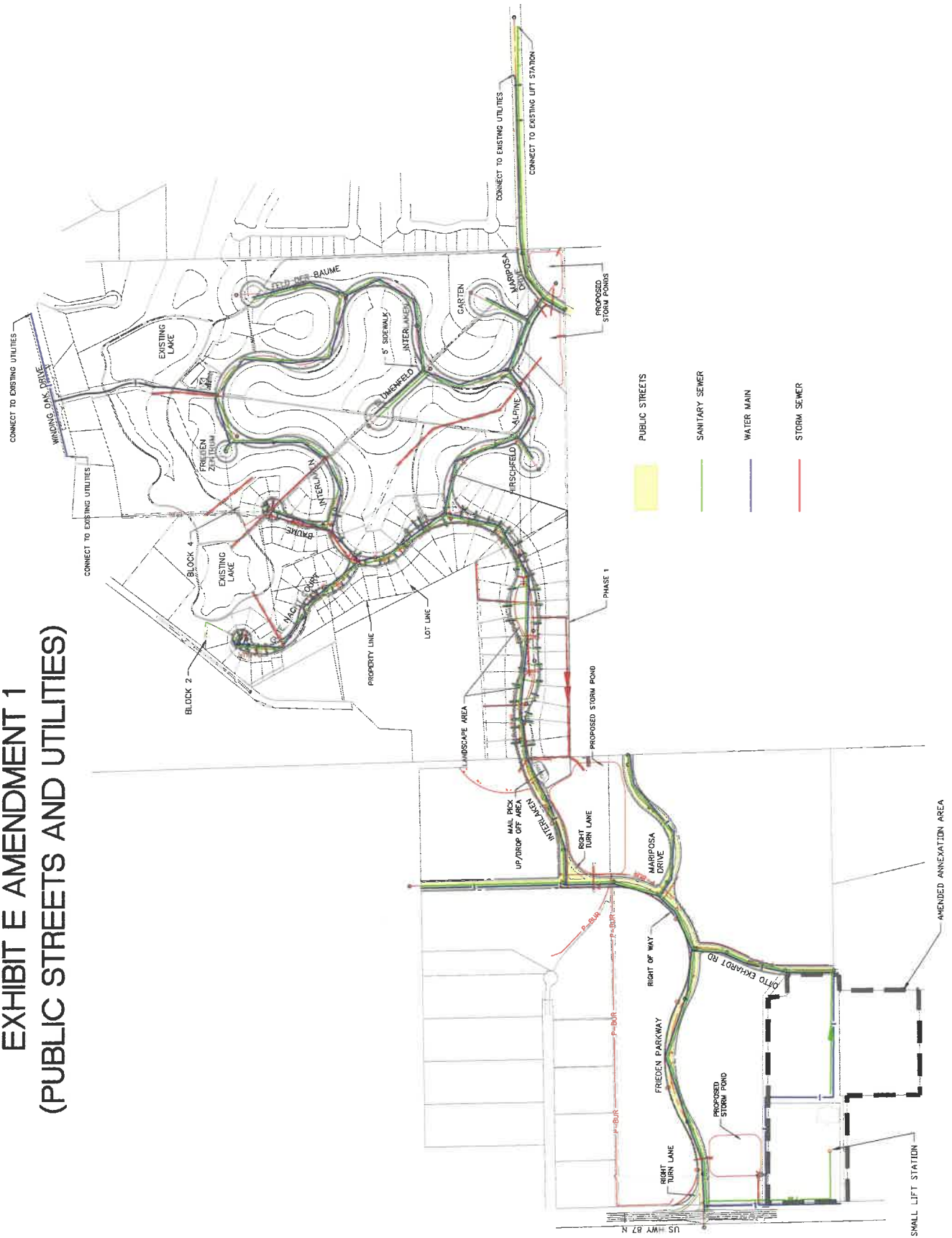


EXHIBIT E
PUBLIC STREETS AND UTILITIES
(Attached)



EXHIBIT E AMENDMENT 1 (PUBLIC STREETS AND UTILITIES)





CITY COUNCIL AGENDA MEMO

DEPARTMENT: Development Services

TO: Mayor & City Council Members

FROM: Shelby Collier, Senior Planner

MEETING DATE: February 4, 2025

CATEGORY: OTHER ACTION ITEMS AND
UPDATES

CAPTION: Consider and take action on appeal of Director of Development Services denial of a STR permit for Curt & Misty Harlan at 205 West Creek Street. (Shelby Collier, Senior Planner)

PRESENTATION:

SUMMARY:

An STR Appeal has been submitted for consideration by City Council regarding the denial of a STR-Unoccupied application for an R1, Single Family Residential zoned property at 205 W Creek Street.

The property previously had a STR-Nonconforming permit that expired on 08/09/2024 and when the applicant submitted a new STR-Unoccupied application on 12/23/24. Staff denied the application in compliance with the R1, Single Family Residential Zoning Ordinance which does not allow for a STR-Unoccupied by right.

BACKGROUND:

With the adoption of Ordinance [No. 2023-18](#) (2024 STR Ordinance) an Appeal's process was created to allow a property owner to file an appeal in the event that an Short-Term Rental Application is denied. This appeal is considered by City Council in accordance with Sec. 20-225 of the 2024 STR Ordinance.

The applicant must file an appeal within 20 days following the date of the denial and the appeal must identify each alleged point of error, facts or evidence supporting the appeal, and reasons why the action of the director should be modified or reversed. City Council shall then hear the appeal and may affirm, modify, or reverse an application denial.

Staff has determined that the appellant has submitted a complete application and is ready for consideration by City Council.

Address: 205 W Creek

Owners: Curt and Misty Harlan

Management: N/A

Zoning: R1

STR Permit Issue Date: 8/29/2023

STR Permit Expiration Date: 8/9/2024

STR 90 Day Nonconforming Expiration Date: 11/9/2024

HOT Compliance: Compliant - Current on HOT remittance

Code Violations: No Violations on record

It is important to note that with the adoption of [Ordinance No. 2023-18](#) (2024 STR Ordinance) a 90 day grace period was provided for all nonconforming uses per Sec. 20-226(c). That section of code states that all legal nonconforming (STRs permitted BEFORE the 2024 STR Ordinance) short-term rental uses located in zoning districts where short-term rental uses are no longer permitted by right, shall be subject to the abandonment of nonconforming use provisions contained in [Sec. 6.110](#) of the City Zoning Ordinance, which states that, in residential districts, termination of the nonconforming use occurs when the use is voluntarily discontinued for a period of 90 days. Furthermore, it states that any future use shall be in conformity with the current zoning regulations. As the property is zoned R1, Single Family Residential, it no longer allows for a STR-Unoccupied by right, however, it does allow for a STR-B&B but NOT a STR-Accessory as the property is not 10,000 sq ft in size.

STR-B&B - Definition

A short-term rental that operates on a residential property in which the owner, operator, or 24-hour contact resides as their principal residence (as evidenced by a current residence homestead exemption filed with the Gillespie Central Appraisal District or a sworn affidavit). Separate short-term rental permits, with a maximum of four units, shall be required for each separate bedroom unit operating as a short-term rental within a short-term rental B&B.

STR-Accessory - Definition

A short-term rental operating within a lawful accessory dwelling unit on the same lot as the primary structure, in which the primary structure is (a) the owner's homestead as evidenced by a current homestead exemption filed with the Gillespie Central Appraisal District or (b) the primary residence of the 24-hour contact, as evidenced by a sworn affidavit to be provided with the short-term rental permit application. The accessory dwelling unit shall comply with section 8.220 of the city zoning ordinance.

In summary, the property had a STR permit issued on 08/29/2023 and received a permit placard that had the STR Permit expiration date listed. The appellant was then notified by STR Specialist, Tyler Debish of the permits expiration and need to renew to remain in compliance with Sec. 20-226(c) of the 2024 STR Ordinance on 11/1/2024. The appellant failed to renew and instead submitted a STR permit on 12/23/24 and the application was denied on 12/26/24.

FUNDING SOURCE:

FINANCIAL IMPACT:

STAFF RECOMMENDATION:

COMPREHENSIVE PLAN GUIDING PRINCIPLE:

Neighborhood Quality

Workforce
Tourism
City Center
Mobility
Small Town Sensitive Growth
Governance

ATTACHMENTS:

1. 205 W Creek STR Appeal Application
2. 2024 STR Ordinance
3. Sec. 6.110 Continuance of a Nonconforming Use
4. STR Specialist Renewal Email

APPROVAL/REVIEW:



Shelby Collier, Senior Planner

Date: January 29, 2025



Garret Bonn, Assistant City Manager

Date: January 29, 2025



William McKamie, City Attorney

Date: January 29, 2025



Leticia Vacek, City Secretary

Date: January 29, 2025



Clinton Bailey, City Manager

Date: January 30, 2025



STR Permit Appeal Application Form

Sec. 20-225 (b)

An appeal filed under this section must be filed with the director no later than the 20th day following the date on which the permit was denied. The appeal must be sworn and must identify each alleged point of error, facts and evidence supporting the appeal, and reason why the action of the director should be modified or reversed.

Owner Information:

Full Name:

Curta Misty Harlan

Address:

City:

State:

Zip:

Phone Number:

Email Address:

STR Property Information:

Address of the STR Property:

205 W Creekst

Zoning:

R1

STR Permit Number (if previously permitted):

805 6000375

STR Permit issue date:

8-9-22?

STR Permit expiration date:

8-9-24

STR 90 Day nonconforming expiration date:

11-9-24

Reason for Appeal:

My mistake I accidentally did not renew on time on the MGO website it says active, I did not see an exp. date-
If the property has been rented, has H.O.T. been remitted to the City of Fredericksburg? Yes

Date of Denial:

Dec 27

Filing Date (within 20 days of denial):

Dec 30th

Details of Appeal:

Please provide a detailed explanation of why you are appealing the decision to deny, revoke, or modify your short-term rental (STR) permit:

I am begging. I made a mistake.

We have not had any issues. We bought this property to enjoy for ourselves and need to rent to help pay for it. I honestly kept looking @ the MGO website and said Active if there was an exp date I could not find it. We need the rentals.

I have mailed the 300.00 check. Please Please Please
I will make sure I am not late again. I had also tried
to schedule the inspection thinking it was coming up and it said
I could not so I thought I was too early.

Supporting Documentation:

Please attach any relevant documentation that supports your appeal (e.g., property records, HOT (Hotel Occupancy Tax) remittances, previous STR permits, correspondence with city officials, etc.):

Declaration:

I hereby declare that the information provided in this appeal application is true and accurate to the best of my knowledge. I understand that providing false information may result in the rejection of my appeal.

Signature: Miguel Icahn Date: 12-30-2024

ACKNOWLEDGMENTS

State of Texas

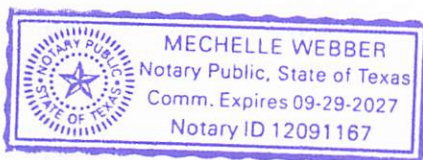
County of Real

Before me, Misty Harlan, on this day personally appeared _____, known to me (or proved to me on the oath of or through (description of identity card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

Given under my hand and seal of office this 30 day of December, 20 24

(Personalized Seal)

Mechelle Webber
Notary Public's Signature



Staff Review

Date accepted as complete: 1/13/2025 City Council Date: 2/4/2025

Result: _____

Fee: \$300 Check [REDACTED] Date Received: 1/13/25

Submission: check processed 1/14/2025

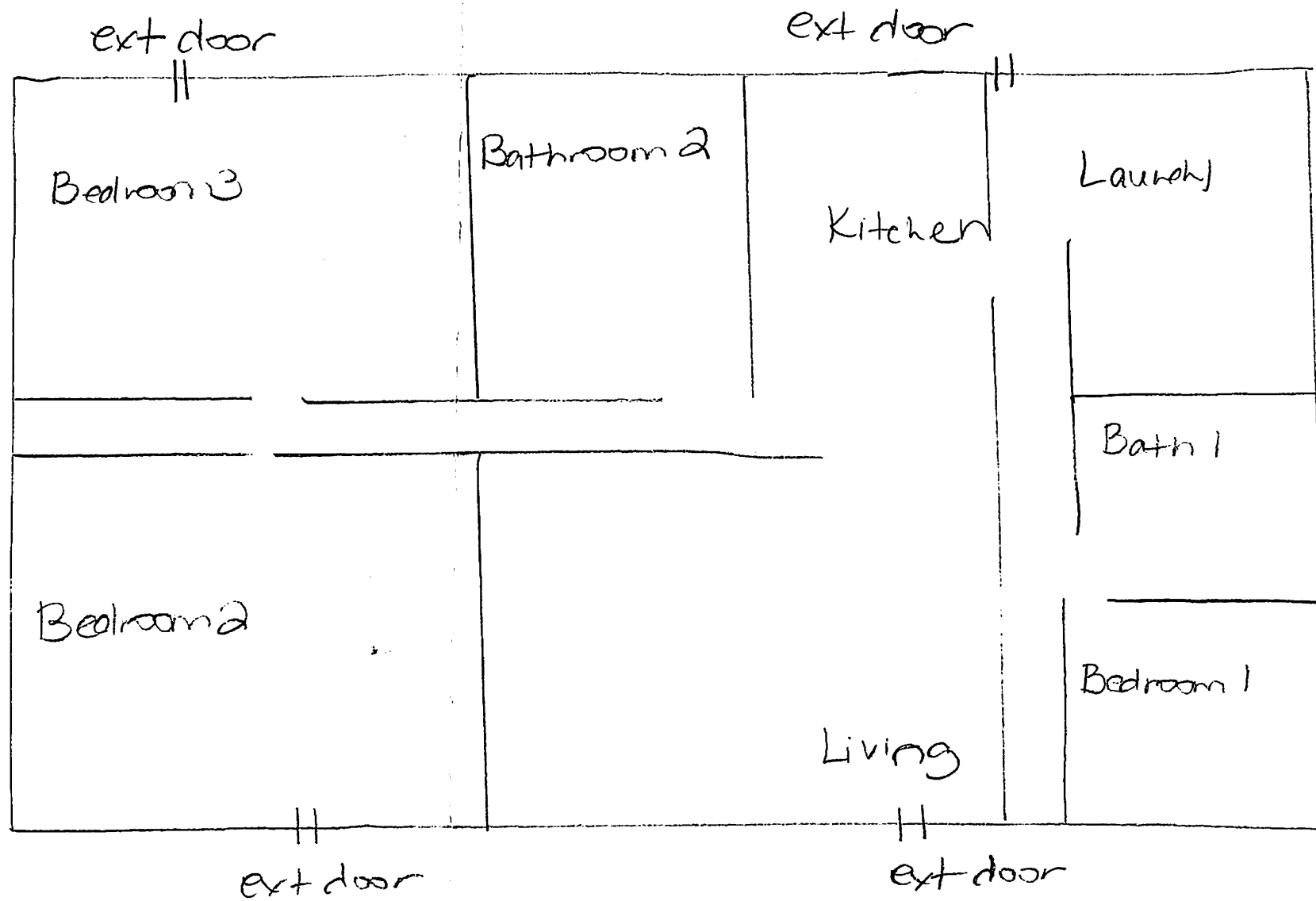
Please submit this **completed application form along with any supporting documentation** and **the \$300 appeal fee** within the required 20 days (after the permit was denied) to Anna Hudson, Director of Development Services, ahudson@fbgtx.org

The \$300 appeal fee may be mailed to City of Fredericksburg, 126 W Main Street, Fredericksburg, Texas, 78624. The application will not be considered complete without all documentation and fees.

The Director of Development Services has 14 days to review the appeal application, City council will hear the appeal at the next regularly scheduled City Council meeting, and may affirm, modify, or reverse an application denial. The City Council shall give written notice of a decision on an appeal to the appellant.

Note: The submission of an appeal does not guarantee a reversal of the decision regarding the short-term rental permit. Appeals will be reviewed in accordance with the relevant regulations and policies governing short term rental permits in Fredericksburg, Texas.

Floor Plan 205 W Creek St





City of Fredericksburg Hotel Occupancy Tax Remittance Form

Remit to: City of Fredericksburg, Tx - c/o Hotel Occupancy Taxes - 126 W. Main St. - Fredericksburg, Tx 78624

Phone: (830) 990-2069 - Email: deckhardt@fbgtx.org

NOTE: Credit card fee is 4% - ACH bank draft no fee

ATTENTION: If you are filing for more than one filing period, please complete a separate return for each period.

This form is for 2024 filings ONLY.

Business Name

cheaper than therapy

Business Mailing Address

po box 69

Business City

Pio Frio

Business State/Province

Alabama

Business Zip/Postal Code

78879

Contact Name

Curt Harlan

Contact Email

mbplsanton@yahoo.com

Contact Phone

8305709804

STR/HM Location Address

205 W Creek St

No. of Units/Rooms Available 3

No. of Units/Rooms Rented 3

I am filing HOT for one of the following:

☒ STR ☐ Hotel/Motel

Reset

I am filing HOT for one of the following quarters:

☐ 1st Quarter ☐ 2nd Quarter ☐

3rd Quarter ☒ 4th Quarter

Year of Quarter

2024

I declare I did not have any taxable receipts

☐ Yes ☐ No

STR/HM Properties

Additional Information or Reports

Browse...

Total Receipts

\$ 11465.00

Total Taxable Receipts

\$ 11465.00

7% Tax Amount

\$ 802.55

1% Discount

\$ 8.03

15% Penalty

\$ if applicable

4.25% Interest

\$ if applicable

Tax Amount Due

\$ 794.52

Please email str@fbgtx.org if there are any changes or corrections on the taxpayer, or if the property has been sold or transferred. Please indicate New Taxpayer's Information.

PROPERTY CHANGES - Please check one (if applicable):

- ☐ I will not be renting this property any longer - this is my final report.
- ☐ I have sold this property and will not be renting it any longer - this is my final report.
- ☐ I am renting this property, but only for periods of 30 days or more at a time - this is my final report.

By signing below - I declare that the information in this document and any attachments are true and correct to the best of my knowledge and belief.

Date

Tue Jan 07 2025 00:00:00 GMT-0600 (Central Standard Time)



Ordinance No. 2023-18

Sec. 20-225. - Appeal.

(a) The director's denial of an application for a permit to operate a short-term rental, whether an initial application or a renewal application, may be appealed to the city council in accordance with the provisions of this section. Enforcement of this article shall be stayed during the pendency of any appeal pursuant to this section.

(b) An appeal filed under this section must be filed with the director no later than the 20th day following the date on which the permit was denied. The appeal must be sworn and must identify each alleged point of error, facts and evidence supporting the appeal, and reasons why the action of the director should be modified or reversed.

(c) The city council shall, at the next regularly scheduled city council meeting following the expiration of fourteen (14) calendar days following the perfection of the appeal, hear the appeal, and may affirm, modify, or reverse an application denial. The city council shall give written notice of a decision on an appeal to the appellant.

(d) An appellant who seeks judicial review of the city council's review on appeal, or of the city council's decision to revoke or suspend a permit, must file a petition with a court of competent jurisdiction located in Gillespie County, Texas. Such judicial review shall be governed by the procedural rules contained in section 211.011 of the Texas Local Government Code as if the board of adjustment had conducted the review on appeal.

Sec. 6.110 – Continuance of a Nonconforming Use

Residential Districts

Enlargement. A non-conforming use may be enlarged, expanded, extended or changed within the boundary of the lot in which the non-conforming use has legally operated, upon approval of a Conditional Use Permit (section 5.400). Any enlargement or extension, whether requiring a Conditional Use Permit or not, shall be required to come into in compliance with all city ordinances, codes, or policies and development regulations which may apply to the property (examples without limitation: landscape, parking, curb cuts, setbacks).

Conversions. A non-conforming use may be continued as the same classification, or may be changed to a use of a more restricted classification upon approval of a conditional use permit. If it is changed to a use in a more restricted classification or to a conforming use, it cannot be changed back to its original non-conforming use. For purpose of this paragraph, the phrase "same classification" means: uses permitted in the same district; a "more restricted classification" means: use in a district having more restricted use (i.e., C-2 vs. C-1); and provided that:

The new use is similar to or less intensive than that of the old use in terms of noise generated, outdoor storage, customer activity and impact on other conforming uses in the area, and that the new use comply with the parking requirements of this ordinance as applicable to newly established uses.

Termination.

If a non-conforming use or any portion thereof is voluntarily discontinued for a period of 90 days, any future use of such land or portion thereof shall be in conformity with the regulations of the district in which such land or portion thereof is located.

Non-conforming use is terminated upon a change in use other than as provided herein.

Non-conforming use is terminated upon destruction of a structure occupied by a non-conforming use unless it is permitted to be rebuilt as provided herein.

Other Districts

Enlargement. A non-conforming use may be enlarged within the boundary of the lot in which the non-conforming use has legally operated upon approval of a Conditional Use Permit (section 5.400).

Provided, however, a Conditional Use Permit shall not be required, and the enlargement may occur, upon submission and approval of a Site Plan if the enlargement involves only a

one-time increase in the size of the building in which the same use is operated of not more than 25 percent.

Any enlargement or extension, whether requiring a Conditional Use Permit or not, shall be required to come into compliance with all city ordinances, codes, or policies and development regulations which may apply to the property (examples without limitation: landscape, parking, curb cuts, setbacks), and the non-conforming use may be continued only for so long as the property remains in compliance with all applicable City Ordinances and Codes, including those prohibiting nuisances. All Existing non-conforming single family residential uses may be enlarged without the necessity of obtaining a Conditional Use Permit.

Conversions. A non-conforming use may be continued as the same classification, or may be changed to a use of a more restricted classification upon approval of a conditional use permit. If it is changed to a use in a more restricted classification or to a conforming use, it cannot be changed back to its original non-conforming use. For purpose of this paragraph, the phrase "same classification" means: uses permitted in the same district; a "more restricted classification" means: use in a district having more restricted use (i.e., C-2 vs. C-1); and provided that:

The new use is similar to or less intensive than that of the old use in terms of noise generated, outdoor storage, customer activity and impact on other conforming uses in the area.

The new use complies with the parking requirements of this ordinance as applicable to newly established uses.

Termination. A nonconforming use is terminated under the following conditions:

Upon a change in use other than as provided herein.

Upon discontinuance, being defined as non-operative or non use for a period of at least 365 successive days. Discontinuance may be, but is not required to be, evidenced by termination of utility service, the failure to maintain regular hours of operation, the utilization of the premises for other purposes, abandonment or by any other reasonable means.

Upon destruction of a structure occupied by a nonconforming use except if it is permitted to be rebuilt as provided herein.

Replacement. If a structure occupied by a nonconforming use is destroyed by fire, the elements or other cause, it may not be rebuilt except to conform to the provisions of this Ordinance. In the case of partial destruction of a nonconforming use not exceeding 75 percent of its tax roll assessed value, reconstruction will be permitted but the size or function of the nonconforming use shall not be expanded.

(Ord. No. 23-007, 5-20-2013; Ord. No. 24-024, 12-1-2014; [Ord. No. 2022-13](#), § 15(Exh. N), 3-21-2022; [Ord. No. 2023-18](#), § 8K, 11-7-2023)

From: [Tyler Debish](#)
To: [Shelby Collier](#)
Subject: FW: Expired STR permit RENEWAL NEEDED ASAP
Date: Wednesday, January 29, 2025 9:26:36 AM
Attachments: [MGO RENEW 24.docx](#)

Shelby,

Here is the reminder email that was sent 11/1/2024!!

From: Tyler Baethge
Sent: Friday, November 1, 2024 2:28 PM
To: mbpleasanton@yahoo.com
Subject: Expired STR permit RENEWAL NEEDED ASAP

Dear STR owner,

Your STR permit has expired and needs to be renewed as soon as possible to avoid losing the permit.

Please reach out with any questions.

Regards,

Tyler Baethge
Short Term Rental Specialist



126 W. Main Street
Fredericksburg, TX 78624

Office: (830) 997-7521 | Direct: (830) 990-2028 | tbaethge@fbgtx.org

City Mission: We're leading with integrity while providing the best customer services to our community.



CITY COUNCIL AGENDA MEMO

DEPARTMENT: City Secretary

TO: Mayor & City Council Members

FROM:

MEETING DATE: February 4, 2025

CATEGORY: OTHER ACTION ITEMS AND
UPDATES

CAPTION: Request of the Fredericksburg Parks Foundation for initial approval for a project at the old Turner Hall property in collaboration with the National Fitness Campaign and various donors. (Mayor Hoover and Emily Kirchner, Mayor Pro-Tem)

PRESENTATION:

SUMMARY:

BACKGROUND:

FUNDING SOURCE:

FINANCIAL IMPACT:

STAFF RECOMMENDATION:

COMPREHENSIVE PLAN GUIDING PRINCIPLE:

Neighborhood Quality

Workforce

Tourism

City Center

Mobility

Small Town Sensitive Growth

Governance

ATTACHMENTS:

None

APPROVAL/REVIEW:



Leticia Vacek, City Secretary

Date: January 27, 2025



William McKamie, City Attorney

Date: January 27, 2025



Clinton Bailey, City Manager

Date: January 30, 2025



CITY COUNCIL AGENDA MEMO

DEPARTMENT: Public Works and Utilities

TO: Mayor & City Council Members

FROM:

MEETING DATE: February 4, 2025

CATEGORY: OTHER ACTION ITEMS AND
UPDATES

CAPTION: Consider the approval of the SKT Architects Design Invoice for the CVB. (Evan Williamson, Assistant City Engineer)

PRESENTATION:

SUMMARY:

Approval of final invoice for design of an expansion to the Visitor Information Center.

BACKGROUND:

In 2001, the design for the Visitor Information Center as it now stands was completed. The layout includes the Visitor Information Center, a small auditorium, public restrooms, and office space for the Convention and Visitor Bureau (CVB) and the Economic Development Commission.

In 2013, a second phase for the expansion of the building was considered. Conceptual renderings included additional office space for the CVB, office space for the Chamber of Commerce, and additional shared meeting space for those organizations or the public.

In 2021, the City began preparing the fiscal year 2022 budget. During a work session on August 4th, 2021, the Tourism Fund was discussed. The projected increase for the fund was 7%. Ernie Loeffler, then CEO of the CVB, expressed their need for additional space at the time. The estimated cost for the design was \$166,000. Following that meeting, money was allocated for design in FY 2022.

A request for qualifications was advertised. Ten architectural firms submitted qualifications and were interviewed. SKT was recommended for selection by staff, and the City Council approved this selection on February 21, 2022. On April 14th, 2022, the City and SKT executed an agreement for architectural services.

The project developed and progressed, receiving approval through various review bodies, including the DRC site plan review and the Historic Review Board. In May of 2022, the City Manager left the City of Fredericksburg, and Clinton Bailey became the new City Manager. In September of 2022, Ernie Loeffler retired from the CVB, and Brady Closson became the new CEO. With changes in leadership for both organizations, the project was no longer a high priority. The plans continued in design with no timeline for construction. Invoicing to date is below:

- June 21, 2022: Schematic Design Phase Services: \$3,375 (paid)
- August 29, 2022: Schematic Design, surveying, and engineering consulting: \$12,061.98 (paid)
- February 6, 2023: Design development and construction documents: \$14,774.75 (paid)
- November 6, 2024: Construction Documents, Additional Services, TAS review: \$128,029.23

Total Design Cost: \$158,240.96

At this point, the design plans are 100% complete as well as the project manual. The expansion includes offices space, lobby area, storage room, meeting space, and catering kitchen. The project plans have been approved and registered with the state for accessibility. All necessary documents for bidding have been developed.

FUNDING SOURCE: Tourism

FINANCIAL IMPACT:
\$128,029.23

STAFF RECOMMENDATION:

Staff recommends approval to allocate funds for payment.

COMPREHENSIVE PLAN GUIDING PRINCIPLE:

Tourism

ATTACHMENTS:

1. SKT Invoice #4, Expansion of the Fredericksburg Visitor Information Center
2. Pages from FBG Visitor Info Center Expansion 100% Construction Drawings 10-31-24

APPROVAL/REVIEW:



Kris Kneese, Director of Public Works, Utilities, and Engineer

Date: January 29, 2025



Krista Wareham, Director of Finance

Date: January 29, 2025



Garret Bonn, Assistant City Manager

Date: January 31, 2025



Date: January 31, 2025

William McKamie, City Attorney



Leticia Vacek, City Secretary

Date: January 31, 2025



Clinton Bailey, City Manager

Date: January 31, 2025



SKT Architects, PLLC
300 West Main, Suite C
Fredericksburg, Texas 78624
830-997-0383 www.sktarchitects.com

INVOICE #4
November 6, 2024

City of Fredericksburg
126 West Main Street
Fredericksburg, Texas 78624
Attention: Evan Williamson, P.E., CFM, Staff Engineer, Public Works/Engineering

Project: Fredericksburg Visitor Information Center Expansion, 302 East Austin Street, Fredericksburg Texas

Basic Services - Percentage:

Phase	Percent of Total Fee	Total Scheduled Fee	Percent Complete to Date	Services Earned to date	Services Previously Invoiced	Amount Due this Invoice
Schematic Design	12.5%	17,989.00	100%	\$17,133.00	\$8,081.25	\$9,051.75
Design Development	31.25%	\$44,974.00	100%	\$44,974.00	\$14,293.75	\$30,680.25
Const. Documents	50%	\$71,958.00	100%	\$71,958.00	\$0.00	\$71,958.00
Procurement	6.25%	\$8,995.00	0%	\$0.00	\$0.00	\$0.00

Total Basic Services
Fee - 8% of \$1,798,955
(8-5-22 Approved est.
cost of the work) 100% \$143,916.00 93.75% \$134,921.00 \$22,375.00 \$111,690.00

Additional Services - Hourly:

Civil Engineer – KCI Technologies
 (see attached copy of invoice 983182): \$1,548.24
 (see attached copy of invoice 988626): \$3,922.23
 (see attached copy of invoice 983182): \$8,384.13
 (see attached copy of invoice ARIV1002737) \$859.63
Acoustic Consultant – Bai
 (see attached copy of invoice 12492) \$800.00
Total Additional Services \$15,514.23

Reimbursable Expenses:

TAS Plan Review Fee \$750.00
Plus 10% of reimbursable expenses \$75.00
Total Reimbursable Expenses \$825.00

Total This Invoice \$128,029.23

Thank You for your business. If you have any questions, please call me at (830) 997-0383.
Randy R Stehling, AIA – Project Architect



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ENGINEERS • PLANNERS • SCIENTISTS • CONSTRUCTION MANAGERS

2806 W. Bitters Road, Suite 218 • San Antonio, Texas 78248 • Phone (210) 641-9999

SKT Architects

November 4, 2024

Randy R. Stehling, AIA
300 C West Main Street
Fredericksburg, TX 78624
randy@sktarchitects.com

Invoice No: ARIV1002737
KCI Project No: 00002045_00001 / 7622E0210300
PROJECT: Fredericksburg Visitor Center

Service Dates: August 30, 2024 through October 31, 2024

Professional Services	Contract Amount	Pct Comp	Prior Billed	Current Billings
10 Project Coordination	1,000.00	48.05%	480.50	
20 Topographic Survey	6,200.00	96.95%	6,010.83	
30 Fire Flow Test	850.00			
31 Site Plan Package	16,000.00	100.00%	15,200.00	800.00
32 Stormwater Report	2,000.00			
40 Construction Phase	4,000.00			
99 Reimbursable Expenses	500.00		-	
Alan Lindskog - Mileage		Site Meeting		59.63
Subtotal: 99 Reimbursables				59.63

Invoice Amount **\$ 859.63**

CERTIFIED TRUE AND CORRECT

Alan D. Lindskog, P.E., R.P.L.S.
Senior Project Manager

PAID

CK. NO. 1403
DATE 11/5/24

PLEASE REFERENCE INVOICE NUMBER ON YOUR REMITTANCE
Payment Address: KCI Technologies, Inc.
PO Box 791479
Baltimore, MD 21279-1479



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SKT Architects

September 9, 2024

Randy R. Stehling, AIA
300 C West Main Street
Fredericksburg, TX 78624
randy@sktarchitects.com

Invoice No: ARIV1000257
KCI Project No: 7622E0210300
PROJECT: Fredericksburg Visitor Center

Service Dates: July 26, 2024 through August 29, 2024

Professional Services	Contract Amount	Pct Comp	Prior Billed	Current Billings
10 Project Coordination	1,000.00	48.05%	480.50	
20 Topographic Survey	6,200.00	96.95%	6,010.83	
30 Fire Flow Test	850.00			
31 Site Plan Package	16,000.00	95.00%	6,815.87	8,384.13
32 Stormwater Report	2,000.00			
40 Construction Phase	4,000.00			
99 Reimbursable Expenses	500.00			

Subtotal: 99 | Reimbursables

Invoice Amount **\$ 8,384.13**

CERTIFIED TRUE AND CORRECT


Alan D. Lindskog, P.E., R.P.L.S.
Senior Project Manager

PAID

CK. NO. 1398
DATE 10/31/24

PLEASE REFERENCE INVOICE NUMBER ON YOUR REMITTANCE

Payment Address: KCI Technologies, Inc.

PO Box 791479

Baltimore, MD 21279-1479



ISO 9001:2015 CERTIFIED

ENGINEERS • PLANNERS • SCIENTISTS • CONSTRUCTION MANAGERS

11550 IH-10 West, Suite 395 • San Antonio, Texas 78230-1037 • Phone (210) 641-9999

SKT Architects

October 11, 2023

Randy R. Stehling, AIA
300 C West Main Street
Fredericksburg, TX 78624
randy@sktarchitects.com

Invoice No: 988626
KCI Project No: 7622E0210300
PROJECT: Fredericksburg Visitor Center

Service Dates: September 1, 2023 through September 28, 2023

Professional Services	Contract Amount	Pct Comp	Prior Billed	Current Billings
10 Project Coordination	1,000.00	48.05%	480.50	
20 Topographic Survey	6,200.00	96.95%	6,010.83	
30 Fire Flow Test	850.00			
31 Site Plan Package	16,000.00	42.60%	2,893.64	3,922.23
32 Stormwater Report	2,000.00			
40 Construction Phase	4,000.00			
99 Reimbursable Expenses	500.00			

Subtotal: 99 | Reimbursables -

Invoice Amount **\$ 3,922.23**

CERTIFIED TRUE AND CORRECT

Alan D. Lindskog, P.E., R.P.L.S.
Senior Project Manager

PAID
CK. NO. 1270
DATE 12.5.23

PLEASE REFERENCE INVOICE NUMBER ON YOUR REMITTANCE
Payment Address: KCI Technologies, Inc.
PO Box 791479
Baltimore, MD 21279-1479



ISO 9001:2015 CERTIFIED

ENGINEERS • PLANNERS • SCIENTISTS • CONSTRUCTION MANAGERS

11550 IH-10 West, Suite 395 • San Antonio, Texas 78230-1037 • Phone (210) 641-9999

SKT Architects

September 18, 2023

Randy R. Stehling, AIA
300 C West Main Street
Fredericksburg, TX 78624
randy@sktarchitects.com

Invoice No: 983182
KCI Project No: 7622E0210300
PROJECT: Fredericksburg Visitor Center

Service Dates: July 28, 2023 through August 31, 2023

Professional Services	Contract Amount	Pct Comp	Prior Billed	Current Billings
10 Project Coordination	1,000.00	48.05%	480.50	
20 Topographic Survey	6,200.00	96.95%	6,010.83	
30 Fire Flow Test	850.00			
31 Site Plan Package	16,000.00	18.09%	1,345.40	1,548.24
32 Stormwater Report	2,000.00			
40 Construction Phase	4,000.00			
99 Reimbursable Expenses	500.00			

Subtotal: 99 | Reimbursables

Invoice Amount \$ 1,548.24

CERTIFIED TRUE AND CORRECT



Alan D. Lindskog, P.E., R.P.L.S.
Senior Project Manager

PAID

CK. NO. 1250
DATE 10.11.23

PLEASE REFERENCE INVOICE NUMBER ON YOUR REMITTANCE

Payment Address: KCI Technologies, Inc.

PO Box 791479

Baltimore, MD 21279-1479

Invoice



Consultants in Acoustics, Sound
Reinforcement, and Audiovisual Systems

4006 Speedway
Austin, Texas 78751
512.476.3464

Date	Invoice #
11/4/2024	12492

Ship To

Bill To
STEHLING KLEIN-THOMAS ARCHTS 300 W MAIN ST FREDERICKSBURG TX 78624 ATTN: ACCOUNTS PAYABLE randy@sktarchitects.com

Terms	Project
Due on recpt	6606 S K T ARCHITECTS - HOURLY VARIOUS

Description	Fee Amount	% Work To Date	Current Fee Billing
FREDERICKSBURG VISITOR'S CENTER (HOURLY) RATE: \$200/HR BAI P.M. ANDY MILLER, ANDY@BAIAUSTIN.COM			
AUG. 20 @ 3 HRS	600.00	100.00%	600.00
AUG 22 @0.5 HRS	100.00	100.00%	100.00
AUG 26 @ 0.5 HRS	100.00	100.00%	100.00
PAID CK. NO. <u>1402</u> DATE <u>11/14/24</u>			

TAX ID 74-3008261	Total	\$800.00
	Payments/Credits	\$0.00
	Balance Due	\$800.00

TEXAS ACCESSIBILITY STANDARDS

Plan Review and Inspection Service

RAS # 78

David McMillan RAS 078
1235 Rio Linda
San Antonio, TX. 78245



Cell 210-710-7259
Fax 210-674-9414
E-mail address:
David@tastandards.com

Date: November 6, 2024

Invoice to: City of Fredericksburg 128 West Main Fredericksburg Tx 78624

Regarding Project: **TABS2025004941**

**Due upon receipt: \$ 750.00 For Review and Registration
Or \$ 1452.00 for Complete Project**

The above amount includes the following:

TAS Plan Review Fee	550
Registration Fee	200
Inspection Fee	600
Travel Fee	105

Note: Cannot guarantee Travel Fees due to current rising cost unless paid in advance

**Make check out to David McMillan for: \$ 750.00 For Review and Registration
Or \$ 1452.00 for Complete Project**

Send check to "David McMillan"
1235 Rio Linda
San Antonio, TX
78245

Please include TDLR Registration number on payment: **TABS2025004941**

Thank you for your business,

David McMillan

David McMillan RAS # 78

PAID \$ 750.00

CK. NO. 1405
DATE 11/6/24



EXPANSION OF THE

FREDERICKSBURG VISITOR INFORMATION CENTER

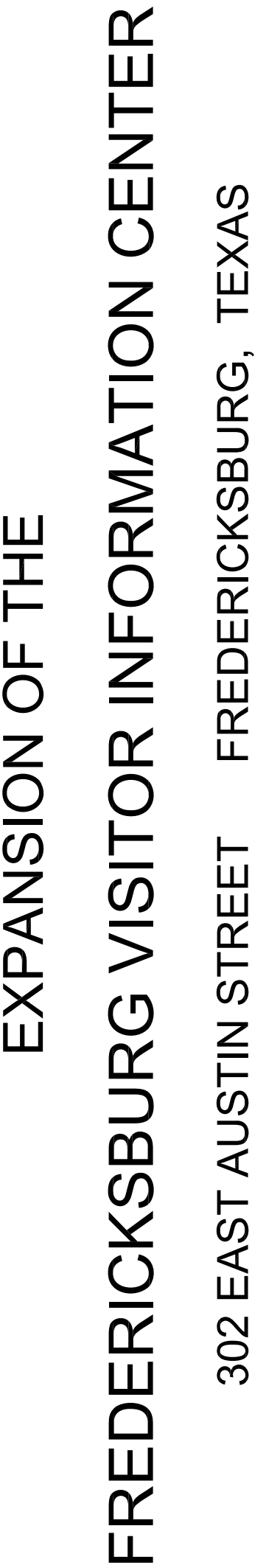
302 EAST AUSTIN FREDERICKSBURG, TX 78624

100%

CONSTRUCTION

DOCUMENTS 10-31-24

OWNER INFORMATION:		ARCHITECT:		CIVIL ENGINEER:		DRAWING INDEX							
JERYL HOOVER - MAYOR		SKA ARCHITECTS SKT Architects, PLLC 300 West Main, Suite C Fredericksburg, TX 78624 www.sktarchitects.com P: 830-997-0383		KCI KCI Technologies inc. 2806 W. Bitters Rd. Suite 218 San Antonio, TX 78248 P: 210-641-9999 www.kci.com		COVER SHEET							
RANDY BRILEY - COUNCIL MEMBER						ARCHITECTURAL		CIVIL		MECHANICAL		PLUMBING	
EMILY KIRCHNER - COUNCIL MEMBER / MAYOR PRO TEAM		KES Keener Engineering Services, LLC. 1220 West Austin St. Fredericksburg, TX 78624 P: (830) 997-0180 © 2018 Keener Engineering Services, LLC		BAI BAI 4006 Speedway Austin, TC 78751 T: 512.476.3464 info@baiaustin.com		A1.1 FLOOR PLAN		C0.0 GENERAL NOTES		M0.0 MECHANICAL SYMBOLS AND ABBREVIATIONS		P0.0 PLUMBING SYMBOLS AND ABBREVIATIONS	
TONY KLEIN - COUNCIL MEMBER						A1.2 REFLECTED CEILING PLAN		C1.0 DEMOLITION/ WORK AREA PLAN		M1.1 MECHANICAL FLOOR PLAN		P1.1 PLUMBING UNDERFLOOR PLAN	
BOBBY WATSON - COUNCIL MEMBER		MEP ENGINEER:		ACOUSTICS ENGINEER:		A1.3 ROOF PLAN		C2.0 SITE DIMENSION PLAN		M1.2 MECHANICAL ATTIC PLAN		P1.2 PLUMBING FLOOR PLAN	
CLINTON BAILEY - CITY MANAGER						A2.1 ELEVATIONS		C3.0 OVERALL GRADING PLAN		M1.3 REFRIGERANT PIPING PLAN		P2.1 PLUMBING SCHEDULES	
EVAN WILLIAMSON - PROJECT COORDINATOR / ASSISTANT CITY ENGINEER		STRUCTURAL ENGINEER:		INTERIOR DESIGNER:		A2.2 ELEVATIONS		C3.1 ENLARGED GRADING PLANS		M2.1 MECHANICAL SCHEDULES		P3.1 PLUMBING DETAILS	
						A3.1 BUILDING SECTIONS		C3.2 ENLARGED GRADING PLANS		M2.2 MECHANICAL SCHEDULES		P3.2 PLUMBING DETAILS	
		SSE SMITH STRUCTURAL ENGINEERS 9701 BRODIE LN., SUITE A-204 AUSTIN, TEXAS 78748 PHONE: 512-478-5281 FAX: 512-381-0127		Mgroup Mgroup Design 610 Elm Street, Suite 700 McKinney, TX 75069 P 972.547.4416 F 866.650.3096		A4.1 WALL TYPES AND PLAN DETAILS		C4.0 SANITARY SEWER/STORM DRAIN PLAN		M3.1 MECHANICAL DETAILS		P4.1 PLUMBING SPECIFICATIONS	
						A4.2 WALL SECTIONS		C4.1 STORM DRAIN PLAN		M3.2 MECHANICAL DETAILS			
						A4.3 WALL SECTIONS		C5.0 CIVIL DETAILS		M4.1 MECHANICAL SPECIFICATIONS			
						A4.4 PORCH SECTIONS		C5.1 CIVIL DETAILS		ELECTRICAL			
						A4.5 WALL SECTIONS		C5.2 CIVIL DETAILS		E0.0 ELECTRICAL SYMBOLS AND ABBREVIATIONS			
						A4.6 WALL SECTIONS		C6.0 FIRE PLAN		EL1.1 ELECTRICAL LIGHTING PLAN			
						A5.1 FLOOR FINISH PLAN		C7.0 SWPPP		EP1.1 ELECTRICAL POWER FLOOR PLAN			
						A5.2 ALTERNATE BID NO. 1 PLAN		C7.1 SWPPP DETAILS		EP1.2 ELECTRICAL POWER ATTIC FLOOR PLAN			
						A5.3 FINISH SCHEDULE		STRUCTURAL		ET1.1 ELECTRICAL SPECIAL SYSTEMS FLOOR PLAN			
						A5.4 FIXTURE SCHEDULE		S-1 FOUNDATION PLAN		E2.1 ELECTRICAL ONE-LINE RISER			
						A6.1 WINDOW AND DOOR SCHEDULES		S-2 ROOF FRAMING PLAN, GENERAL NOTES		E3.1 ELECTRICAL SCHEDULES			
						A6.2 DOOR DETAILS		S-2.1 ROOF TRUSS ELEVATIONS		E3.2 ELECTRICAL SCHEDULES			
						A6.3 WINDOW DETAILS		S-3 FOUNDATION DETAILS		E4.1 ELECTRICAL DETAILS			
						A7.1 INTERIOR ELEVATIONS		S-4 ROOF FRAMING DETAILS		E5.1 ELECTRICAL SPECIFICATIONS			
						A7.2 INTERIOR ELEVATIONS		S-5 WALL FRAMING DETAILS		E5.2 ELECTRICAL SPECIFICATIONS			
						A8.1 INTERIOR DETAILS							



1. ALL WORK SHALL BE IN STRICT ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL CODES, LAWS, AND ORDINANCES, MANUFACTURERS RECOMMENDATIONS, AND REFERENCE SPECIFICATIONS, THE 2012 INTERNATIONAL RESIDENTIAL CODE, THE 2012 INTERNATIONAL BUILDING CODE AND THE 2015 INTERNATIONAL ENERGY CONSERVATION CODE.
2. ALL WORK SHALL BE IN STRICT ACCORDANCE WITH ALL REQUIREMENTS OF THE 2012 TEXAS ACCESSIBILITY STANDARDS (TAS).
3. CONTRACTOR SHALL VERIFY AND, IF NOT OTHERWISE, ALL DIMENSIONS ARE FROM EDGE OF SLAB TO FACE OF GYP. BD. (OR CEMENTITIOUS BD. FOR WALLS RECEIVING TIE) ON INTERIOR WALLS. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO THE START OF WORK, FOR TAS REQUIRED CLEAR FLOOR SPACES AND CLEARANCES CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CLEARANCES PRIOR TO THE START OF WORK.
4. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND INSTALLATION REQUIREMENTS OF ALL EQUIPMENT, APPLIANCES, FIXTURES, AND HARDWARE PRIOR TO THE START OF WORK.

FIRE EXTINGUISHERS:

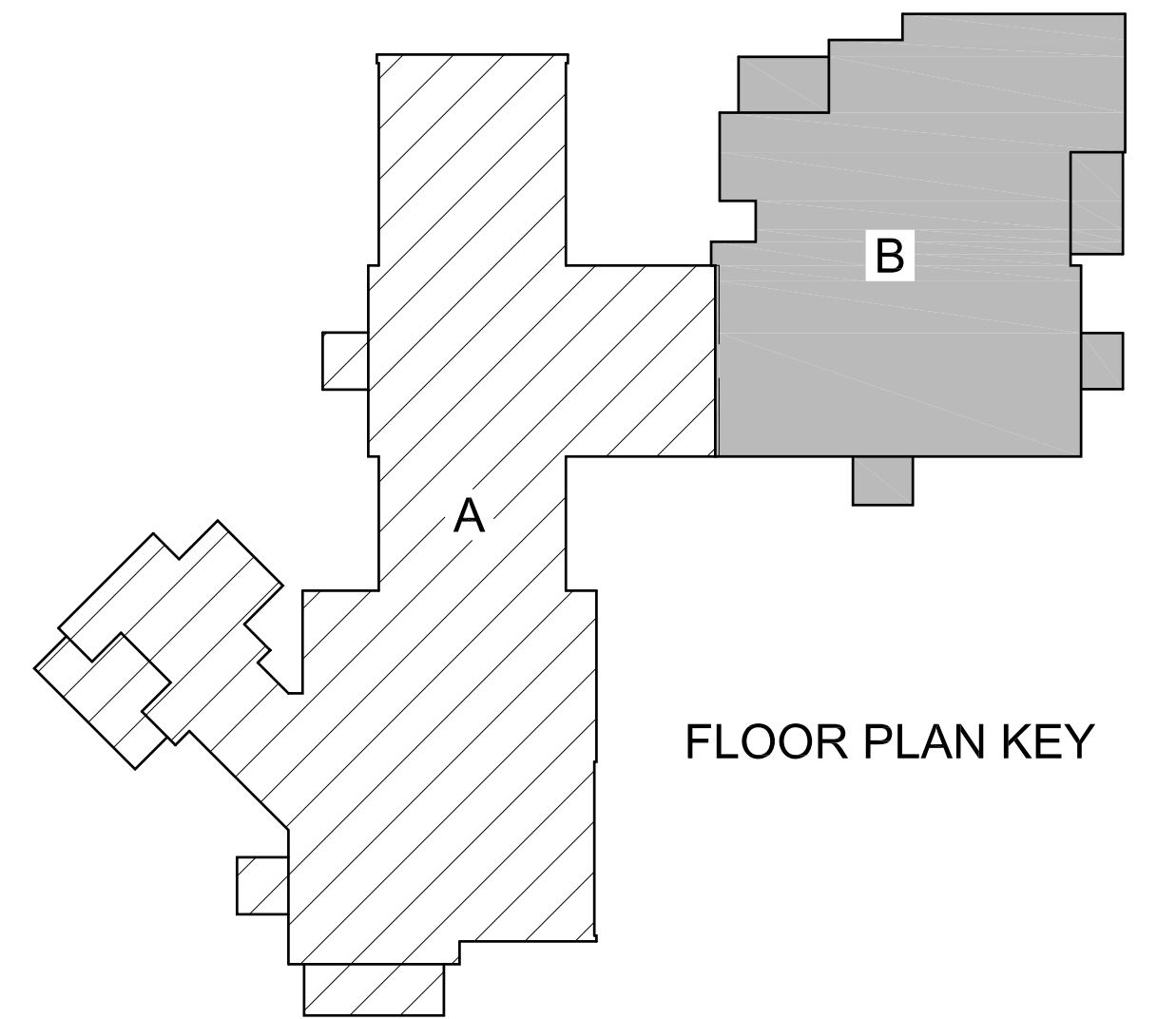
FE-1: J.L. INDUSTRIES 5 LB. ABC MULTI-PURPOSE DRY CHEMICAL WITH ACADEMY FIRE-FX2 MODEL 1027 WITH VERTICAL WHITE FE LETTERING

FE-2: J.L. INDUSTRIES 5 LB. ABC MULTI-PURPOSE DRY CHEMICAL WITH WALL BRACKET

FLOOR PLAN NOTES:

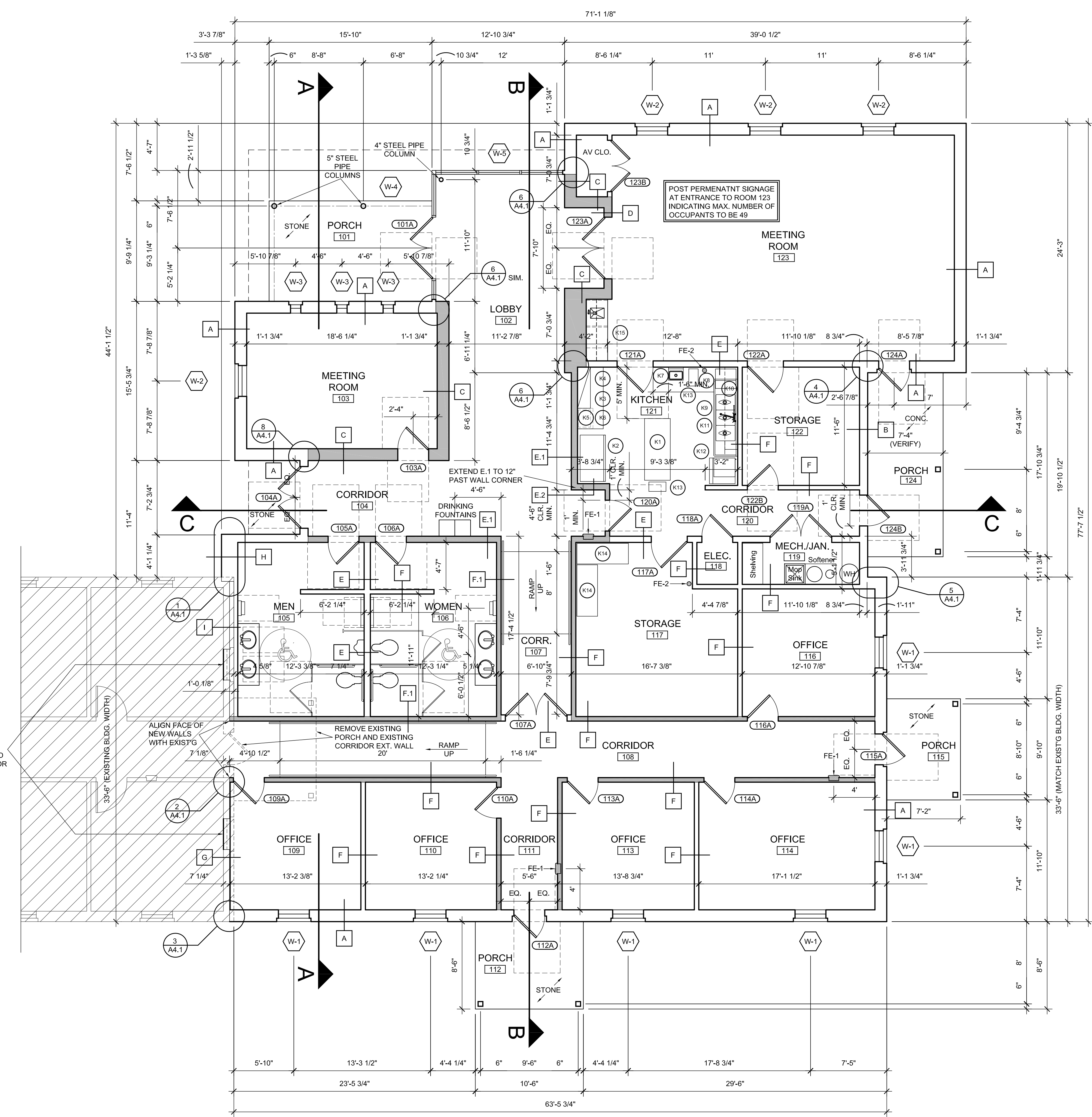
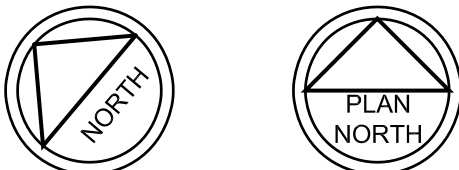
- CAREFULLY REMOVE ALL EXISTING CONSTRUCTION IN CONFLICT WITH NEW CONSTRUCTION. CONTRACTOR SHALL REVIEW SCOPE OF WORK AND INTENDED MEANS AND METHODS WITH ARCHITECT PRIOR TO THE START OF WORK.
- ALL INTERIOR WALLS SHALL BE FILLED WITH SOUND BATT INSULATION OF THICKNESS EQUAL TO THE DEPTH OF THE WALL RECEIVING THE SOUND BATT INSULATION.
- ALL SHADED WALLS () SHALL BE ONE HOUR FIRE RATED WALL.

CODES AND REGULATIONS FOLLOWED	2015 INTERNATIONAL BUILDING CODE 2015 INTERNATIONAL PLUMBING CODE 2015 INTERNATIONAL MECHANICAL CODE 2014 NATIONAL ELECTRICAL CODE 2015 INTERNATIONAL ENERGY CONSERVATION CODE CITY OF FREDERICKSBURG CODE OF ORDINANCES 2012 TEXAS ACCESSIBILITY STANDARDS (TAS)
BUILDING AREA - AREA "A" EXISTING BUILDING	9,108 GROSS S.F.
BUILDING AREA - AREA "B" NEW ADDITION	4,985 GROSS S.F.
TOTAL BUILDING AREA (AREA "A" AND AREA "B")	14,093 GROSS S.F.
NUMBER OF STORIES	ONE
OCCUPANCY CLASSIFICATION	BUSINESS GROUP B
OCCUPANT LOAD - AREA "A"	91
OCCUPANT LOAD - AREA "B"	50
TOTAL OCCUPANT LOAD	141
CONSTRUCTION TYPE	TYPE IIB
AUTOMATIC SPRINKLER SYSTEM	NO



ITEM	EQUIPMENT	MANUFACTURER	MODEL
K1	30" X 72" WORKTABLE WITH DRAWERS	BK RESOURCES	CVT-7230 & BKDWR-2015-ASSY-SS & BKDWR-2020-ASSY-SS
K2	DOUBLE DOOR REFRIGERATOR	TRUE MFG	T-49HC
K3	30" X 72" WORKTABLE WITH UNDERSHELVES	BK RESOURCES	CVT-7230
K4	WALL SHELF	BK RESOURCES	BKWS-1648
K5	MICROWAVE OVEN	PANASONIC	NEW-1054F
K6	MICROWAVE OVEN SHELF	BK RESOURCES	BKMWs-1824
K7	HAND WASH SINK	BK RESOURCES	BKHS-ADA-S-P-G
K8	DISHWASHER	CMA DISH MACHINES	L-1X16 W/ HEATER
K9	3-COMP. SINK W/ DRAIN BOARDS	BK RESOURCES	BKS-3-1824-14-18T
K10	3-COMP. SINK W/ DRAIN BOARDS- SHELVES	OLYMPIC	J1472K
K11	3-COMP. SINK W/ DRAIN BOARDS- FAUCET	T&S	B-0133-B & B-0156
K12	ICE MACHINE WITH COMPRESSOR & ICE BIN	HOSHIZAKI	KM-520MAJ
K13	ICE MACHINE WATER FILTER	TRAVIS	STX202DSP
K14	TRASH CAN WITH LID AND DOLLY	CFS	34202323 & 34202403 & 36921003
K15	UNDERCOUNTER REFG.	SUMMIT	ALBV2466

GENERAL NOTE:
CONTRACTOR SHALL PROVIDE WORK AS SHOWN ON MEP DRAWINGS. COORDINATE ROUGH-INS,
DELIVERY, AND INSTALLATION WITH EQUIPMENT DESIGN CONSULTANT AND EQUIPMENT SUPPLIER
INSTALLER. CONTRACTOR SHALL PROVIDE SUBMITTAL ON ALL EQUIPMENT FOR FINAL REVIEW AND
APPROVAL.


$$3/16'' = 1' - 0''$$




CITY COUNCIL AGENDA MEMO

DEPARTMENT: Fire/EMS

TO: Mayor & City Council Members

FROM: Lynn Bizzell, Fire Chief

MEETING DATE: February 4, 2025

CATEGORY: OTHER ACTION ITEMS AND
UPDATES

CAPTION: Consider approval of a Contract for a New Pump and Tank (budgeted items) for the current Chassis Brush Truck for the Fire Department. (Lynn Bizzell, Fire Chief)

PRESENTATION:

SUMMARY:

In September 2024 Mayor and City Council approved the purchase of a new fire pump, water tank, and flatbed to be placed on an existing chassis purchased by the Fredericksburg Volunteer Fire Department.

BACKGROUND:

In fiscal year 2024 the Fredericksburg Volunteer Fire purchased a chassis for the purpose of building a new brush truck for Fredericksburg Fire EMS. The cost was approximately \$75,000.00. In September 2024 the Mayor and Council approved \$75,000.00 for the purchase of a fire pump, water tank, and flatbed to complete the build out of the brush truck. Once completed this truck will be utilized as a new brush truck for Fredericksburg Fire EMS Department.

FUNDING SOURCE: Fiscal Year 2025 approved budget for Fire Department

FINANCIAL IMPACT:
\$75,000.00

STAFF RECOMMENDATION:

Staff recommends the approval of contract to Westex Welding LLC in the amount of \$93,713.31. The city will fund \$75,000.00 or the total cost and the Fredericksburg Volunteer Fire Department committed the remainder of the funds in the amount of \$18,713.31.

COMPREHENSIVE PLAN GUIDING PRINCIPLE:

Neighborhood Quality
Workforce
Tourism
City Center
Mobility

ATTACHMENTS:

1. Brush Truck Proposal Siddons Martin 1-25
2. Brush Truck Proposal Westtex 1-25
3. Photo-Example Complete Truck with New Pump and Tank

APPROVAL/REVIEW:



Leticia Vacek, City Secretary

Date: January 28, 2025



William McKamie, City Attorney

Date: January 28, 2025



Clinton Bailey, City Manager

Date: January 29, 2025



Krista Wareham, Director of Finance

Date: January 29, 2025

Siddons Martin Emergency Group, LLC
3500 Shelby Lane
Denton, TX 76207
GDN P115891
TXDOT MVD No. A115890



January 14, 2025

Lee Dreyer, Captain
Fredericksburg Fire Department
124 West Main Street
Fredericksburg, TX 78624

**Proposal For: One (1) Customer Supplied Chassis
Ford F550 Skeeter Step Side**

Siddons-Martin Emergency Group, LLC is pleased to provide the following proposal to Fredericksburg Fire Department. Unit will comply with all specifications attached and made a part of this proposal. Total price includes delivery FOB Fredericksburg Fire Department and training on operation and use of the apparatus.

Description	Amount	
2545: One (1) Customer Supplied Chassis Ford F550 Skeeter Step Side		
(Unit Price - \$156,524.00)		
Delivery within 21-22 months of order date		
QUOTE # - SMEG-0008947-1		
	Vehicle Price	\$156,524.00
	2545: UNIT TOTAL	\$156,524.00
	SUB TOTAL	\$156,524.00
	BuyBoard 746-24 (FIRE)	\$1,500.00
	TOTAL	\$158,024.00

Price guaranteed until 3/14/2025

Additional: This proposal is valid for Siddons-Martin Emergency Group Bid 2545. Bid 2545 includes one (1) Customer Supplied Chassis from Fredericksburg Fire Department to be delivered to Skeeter Emergency Vehicles in Hillsboro, TX. The Customer Supplied Chassis shall meet the requirements of Skeeter Emergency Vehicles.

Due to global supply chain constraints, any delivery date contained herein is a good faith estimate as of the date of this order/contract, and merely an approximation based on current information. Delivery updates will be made available, and a final firm delivery date will be provided as soon as possible.

Taxes: Tax is not included in this proposal. In the event that the purchasing organization is not exempt from sales tax or any other applicable taxes and/or the proposed apparatus does not qualify for exempt status, it is the duty of the purchasing organization to pay any and all taxes due. Balance of sale price is due upon acceptance of the apparatus at the factory.

Late Fee: A late fee of .033% of the sale price will be charged per day for overdue payments beginning ten (10) days after the payment is due for the first 30 days. The late fee increases to .044% per day until the payment is received. In the event a prepayment is received after the due date, the discount will be reduced by the same percentages above increasing the cost of the apparatus.

Cancellation: In the event this proposal is accepted and a purchase order is issued then cancelled or terminated by Customer before completion, Siddons-Martin Emergency Group may charge a cancellation fee. The following charge schedule based on costs incurred may be applied:

- (A) 10% of the Purchase Price after order is accepted and entered by Manufacturer;
- (B) 20% of the Purchase Price after completion of the approval drawings;
- (C) 30% of the Purchase Price upon any material requisition.

The cancellation fee will increase accordingly as costs are incurred as the order progresses through engineering and into manufacturing. Siddons-Martin Emergency Group endeavors to mitigate any such costs through the sale of such product to another purchaser; however, the customer shall remain liable for the difference between the purchase price and, if applicable, the sale price obtained by Siddons-Martin Emergency Group upon sale of the product to another purchaser, plus any costs incurred by Siddons-Martin to conduct such sale.

Acceptance: In an effort to ensure the above stated terms and conditions are understood and adhered to, Siddons-Martin Emergency Group, LLC requires an authorized individual from the purchasing organization sign and date this proposal and include it with any purchase order. Upon signing of this proposal, the terms and conditions stated herein will be considered binding and accepted by the Customer. The terms and acceptance of this proposal will be governed by the laws of the state of Texas. No additional terms or conditions will be binding upon Siddons-Martin Emergency Group, LLC unless agreed to in writing and signed by a duly authorized officer of Siddons-Martin Emergency Group, LLC.

Sincerely,

Ryan Crady

Ryan Crady

I, _____, the authorized representative of Fredericksburg Fire Department, agree to purchase the proposed and agree to the terms of this proposal and the specifications attached hereto.

Signature & Date



Specification for:
Type 5
C-4433.4 (Ford F550 - 4x4 - Diesel - 4 Door 84" CA- CUSTOMER SUPPLIED)

Submitted To:
Lee Dreyer
Fredericksburg Fire Department
124 West Main Street Fredericksburg, TX 78624

Specification 2545
01/14/2025

Prepared by:
Ryan Crady
Siddons-Martin Emergency Group



C-4433.4 FORD F550 - 4X4 - DIESEL - 4 DOOR 84" CA- CUSTOMER SUPPLIED

CUSTOMER SUPPLIED CHASSIS TO MEET THE FOLLOWING SPECS

One (1) FORD F-550, two axle drive 4x4, dual rear wheels (DRW), four (4) door, XL, Crew Cab chassis.

Measurements / Capacities:
Cab to Axle: 84 inch

Fuel tank size: 40 US Gallon
Wheelbase: 203 inches

D.E.F Tank Size: 7.4 US Gallon

Weight Ratings:
GVWR: 19,500 LBS
Front GAWR: 7,500 LBS
Rear GAWR: 14,706 LBS

Engine:
Powerstroke 6.7L Diesel V8 OHV
Intercooled Turbo
330 HP at 2,600 RPM
825 ft.-lbs. of torque at 2,000 RPM

Transmission:
TorquShift 10 speed automatic transmission with overdrive.
PTO Provision

Axles:
Front Axle: 7,500 LBS HD front package, stabilizer bar, front shocks, auto locking front hubs with a manual backup feature.
Rear Axle: 14,706 LBS HD rear package, stabilizer bar, rear shocks.
Differential gearing: 4.10 gears, limited slip
Electric Shift on the Fly transfer case.

Wheels:
Factory tires: 225/70/R19.5, radial all-weather tread.
Front wheels: two (2) 19.50" x 6" steel disc, ten (10) hole pattern steel wheels

Rear wheels: four (4) 19.50" x 6" steel disc, ten (10) hole pattern dual rear wheels.

Electrical System:

One (1) alternator 240 amp, 12-volt

Two (2) 12-volt, 750 CCA, 78-amp hour batteries

AM/FM Stereo with MP3 Player with fixed antenna

Upfitter Switches

Upfitter Interface Module

Operator controlled Manual Regeneration System

Trailer Brake Controller

Trailer harness

Cab Controls:

Controls for heat, defroster, and air conditioning

Powered Door Locks

Powered Windows

Powered Mirrors

Manual tilt steering wheel: (Unless superseded below in options)

Safety / Security:

Air bags: Safety canopy system, first row and second row overhead airbag restraint system, dual seat mounted side impact airbag restraint system

Brakes: 4-wheel ABS, disc brakes, brake assist

Driveline traction control

Factory jack and lug nut wrench set

Factory Tow hooks

Seats:

Seating capacity: Six (6)

Front 40-20-40 HD folding split bench seat

Rear 60-40 HD folding vinyl bench seat

Manual driver lumbar support

4-way driver seat adjustment

4-way passenger seat adjustment

Miscellaneous Included Equipment:

Power Steering

Exhaust system: horizontally mounted, discharge on passenger side of chassis aft of rear wheels.

Cooling system: protected to -30 degrees

Printed Manuals: one (1) printed chassis operation manual

Colors:

Interior color: Medium Earth Gray

Exterior cab color: Race Red

Chrome Grill with Black Insert

C-4137 84" CAB TO AXLE

The chassis Cab to Axle measurement shall be 84".

C-3478 CAB PAINT - SOLID - STOCK COLOR

Cab Color: OEM Original Color

Paint Warranty is covered by the specific chassis manufacturer OEM.

C-5590 SKEETER CAB STEPS - FRAME MOUNTED - CREW CAB

The cab shall be equipped with steel step assemblies, on each side of the cab. The steps shall be frame mounted and powder coated black.

C-3479 NO LIFT OR LARGER TIRES

No Lift or Larger Tires/Wheels shall be installed on the apparatus.

C-3481 TIRES/WHEELS - OEM TIRES AND WHEELS

Chassis will use stock tires and wheels provided by chassis manufacturer.

C-3867 SPARE - OEM TIRE/WHEEL

One (1) OEM steel wheel and spare tire shall be supplied with the chassis

C-3493 FRONT BUMPER - RANCHHAND STEEL - POWDERCOAT BLACK

The factory bumper shall be removed and replaced with a heavy duty Ranchhand off-road bumper and grille protection assembly. The bumper extension unit shall be powder coated black to purchaser requirements. It shall include fog lights mounted on the bumper.

A receiver hitch rated at 7,500lbs shall be installed at the front of the apparatus in the front bumper. The bumper assembly shall be winch ready.

C-3497 SKID PLATE - FRONT BUMPER - 1/4IN ALUMINUM

A 1/4" (0.25") aluminum skid plate will be installed from the bumper area extending below the bumper and chassis radiator area.

C-3499 SKID PLATE - TRANSFER CASE - 1/4IN ALUMINUM

A removable heavy duty .250" aluminum skid plate assembly shall be installed to protect the oil pan and transfer case.

C-3517 FRONT WINCH - 10000LBS - WARN - FIXED

A Warn Winch Company Model ZEON 10,000# capacity 12-volt electric winch shall be installed in the front bumper.

The unit shall include the following:

- a) extreme duty seals for weather resistance
- b) thermo-metric indicator for motor monitoring
- c) A cable guide and 125 feet of 5/16" diameter galvanized cable and fairlead & safety hook assembly shall be supplied.
- d) Winch speed shall be constant with forward and reverse modes controlled with a push button device at the end of a twelve foot control cable which connects to the winch through a weatherproof receptacle.

The winch shall be attached to the chassis with grade 8 hardware.

C-5624 FRONT MOUNT, FLIP UP, ROLLER FAIRLEAD

There shall be a stainless-steel flip up license plate holder compatible with a galvanized winch cable fairlead installed on the front bumper.

C-3519 CONSOLE, ALUM/POLY, SM TRUCK

A custom fabricated DA aluminum electrical console and enclosure shall be located between the driver's and passenger's seats. It shall house the siren, switches, cup holder, map box, equipment storage, and auxiliary equipment. It shall have a custom poly faceplate. It shall extend fully to the dash and include arm rests.

C-4551 POWER OUTLETS, 12V, DUAL 4.8A USB, CAB

There shall be 1 Dual USB-A/USB-C power outlets rated at 4.8amps shall be provided in cab.

LOCATIONS: Determined at preconstruction.

C-3532 NONE - NO RADIO INSTALL

There shall be no radios installed into the apparatus.

C-4003 INSTALL RADIO ANTENNAS (ANTENNAS ONLY)

One 1 radio antenna with cable shall be supplied by the purchaser and installed on the apparatus at a location to be determined by the purchaser.

THIS OPTION DOES NOT INCLUDE INSTALLATION OF RADIOS, OR MDT/MCT.

ALL EQUIPMENT NECESSARY TO INSTALL/OPERATE A CUSTOMER SUPPLIED RADIO MUST BE PRESENT AT SKEETER BRUSH TRUCKS WITHIN 30 DAYS OF COMPLETED PRE-CONSTRUCT. IF ALL COMPONENTS ARE NOT PRESENT THE RADIO WILL NOT BE INSTALLED

C-5180 CAMERA SYSTEM - OEM - REAR CAMERA

The apparatus will have the OEM backup camera system installed.

C-3612 REAR RECEIVER - STANDARD - WINCH/ROPE/TRAILER

The rear of the chassis shall be equipped with one (1) square steel tube receiver assembly for trailer use and winch applications. It shall be the same size as a Class III trailer hitch and shall be attached to the chassis frame assembly. The receiver shall be rated at approximately 10,000#.

The rear receiver assembly shall be equipped with two (2) heavy duty rear tow loops, one (1) each side.

C-3530 TRAILER PLUG - 12V - 7 PIN

Wiring shall be provided at the rear of the apparatus for the towing of an auxiliary trailer. A 12 volt seven (7) pin electrical connector shall be wired to the chassis stop, running, and turn lights.

C-3549 STEP SIDE BODY, ALUM, 138" X 96", 84" CA

The body will be a custom fabricated severe service step-side type, constructed of all aluminum. The body shall be 138" long by 96" wide,

designed for a 84" cab to axle dimension. The body shall be specifically designed and engineered for off-road wildland firefighting.

FLAT-BED SUB-STRUCTURE

The body shall have 6" structural aluminum channel main frame rails. The body frame rails shall be isolated from the truck frame by .500" industrial isolators.

FLAT-BED CROSS-MEMBER SUB-STRUCTURE

The cross-members shall be 3" structural aluminum I beams with cross-members on 12" centers.

FLAT-BED MOUNTING

The body shall be bolted to the chassis frame rails at the rear end of the frame. There shall be brackets installed at the middle of the body frame to prevent side to side movement. The body shall be spring mounted at the front of the body frame. The flexible mounting system shall allow for body/chassis flexing during extreme off road conditions.

SQUARE CORNERS -- FLAT-BED

The front corners of the flat-bed body shall be square.

HEADACHE RACK

The front of the body shall have a 2" formed aluminum tube headache rack. The rack shall extend the full width of the body and be attached to the front body corners. The assembly shall extend above the chassis cab and have mounting platform for installation of the light bar and other lights. Wiring for the lights will be placed inside the tubing for protection. The headache rack shall have four (4) vertical 2" tubes for extra strength.

WALKWAY

The front of the body shall have a 24" front to rear by 96" right to left walkway in front of the water tank. The walkway shall allow access from side to side of the body to have a NFPA compliant walkway surface.

SIDE BODY ACCESS STEP

There shall be a body access step assisting in access to top of the tool/hose trays from the side of the apparatus. It shall be a stirrup design, and be fabricated from 1" aluminum tubing. They shall be installed under the front of the body, one (1) each side.

FENDER PANELS

The lower portion of the flat-bed body shall have fender panels over and aft of the rear wheel panel area. The panels shall be constructed of aluminum. The wheel well openings will be cut out to conform to the wheels.

SIDE STEP CUBICLE

An approximate 24" wide x 20" high x 24" deep cubicle shall be constructed of polished NFPA compliant aluminum tread plate on the driver's side and passenger's side in the front of the body.

HINGED SAFETY GATE ASSEMBLY

The step-side cubicles on the driver's and passenger's side in the front of the body shall each be equipped with a swing in safety lock gate constructed out of 1" aluminum tubing. The gates shall be locked in the closed position by a locking pin and stop bracket and shall have a hydraulic cylinder to hold the gate either in the fully open or the fully closed position.

REAR BODY PANEL

A vertical body panel shall be installed at the rear of the body constructed of smooth aluminum. The panel shall house the running lights, taillights, back-up lights, and emergency lights. The body panel shall be angled to allow for approximately 27 degrees angle of departure.

PROTECTIVE RAILS

The upper body area shall be protected with radius corner 1" diameter aluminum tube railing assembly installed around the top of the body. The corners of the body shall have vertical risers space in critical areas. The railings shall act as protection for the upper body structures when off road in heavy brush conditions. The rear upper body corner rails shall house the upper emergency lights and work lights.

C-4132 DIAMOND PLATE

The exterior surface of all body skins, compartments, and trays shall all be polished diamond plate aluminum finish.

C-4694 STEP-SIDE GRATE FLOORS, FULL STEP-SIDE - UPGRADE

There shall be non slip grating installed as the floor of both of the stepwell cubicles to allow for easy cleaning and still provide slip resistant surface.

C-4300 COMPARTMENT, D/S, LIFT-UP DUAL DOOR 72"

A body equipment storage compartment shall be installed on the flatbed surface, driver's side of the apparatus. The exterior dimensions shall be approximately 72" wide, 30" high, and 18" deep. The compartment shall be constructed of aluminum on all exterior surfaces.

The compartment shall be equipped with:

- two lift up doors with latches installed
- key type door locks.
- dual gas operated door opening assistant cylinders on each door.
- a white LED strip light that is automatically controlled by a door activated switch.
- a louvered vent

Compartment Matting shall be installed in the compartment. It shall be black in color and lock together design.

The actual door opening shall be approximately 3" smaller in dimension.

C-4301 COMPARTMENT, P/S, LIFT-UP DUAL DOOR 72"

A body equipment storage compartment shall be installed on the flatbed surface, passenger's side of the apparatus. The exterior dimensions shall be approximately 72" wide, 30" high, and 18" deep. The compartment shall be constructed of aluminum on all exterior surfaces.

The compartment shall be equipped with:

- two lift up doors with latches installed
- key type door locks.
- dual gas operated door opening assistant cylinders on each door.
- a white LED strip light that is automatically controlled by a door activated switch.
- a louvered vent

Compartment Matting shall be installed in the compartment. It shall be black in color and lock together design.

The actual door opening shall be approximately 3" smaller in dimension.

C-4555 REAR CENTER UNDER BODY COMPT 120"

An under body equipment storage compartment shall be installed under the flatbed surface located in the center rear of the apparatus. The compartment shall be between the vertical body beams, upper floor surface, and an aluminum lower floor area. The compartment shall be equipped with a hinged drop down door with dual latches installed. The floor shall be constructed of aluminum.

The exterior dimensions shall be approximately: 120" Deep

C-4690 DIVIDERS FOR HARD SUCTION - WITH SLIDE OUT TRAY

Two (2) dividers shall be installed on the driver's side of the rear, center, under body compartment, for storage of 8' lengths of hard suction. The dividers shall be approximately 6" apart, 5" tall, and run the depth of the compartment.

The rear center compartment shall also be equipped with an aluminum slide out tray on UHMW plastic slide pads and poly rollers. The tray shall be 17" wide and full length of the compartment interior. There shall be a retention latch installed on the tray.

C-4437 D/S HOSE TRAY - SLOTTED - 64"

A hose storage tray shall be installed over the driver side equipment compartment, on the driver side of the apparatus. The exterior dimensions shall be approximately: 16" wide, 10" high, and 64" long. The hose tray shall be constructed entirely of slotted aluminum on all exterior surfaces. The assembly shall be equipped with a hinged, lift-up aluminum door on top, enclosed front panel, and open rear area. There shall be a gas shock installed on the lid of the tray to aid in opening and closing the tray in a safe manner. The hose tray shall be equipped with ventilated vinyl floor liner.

The actual door opening shall be approximately 3" smaller in dimension.

C-4452 P/S TOOL TRAY - SLOTTED, OPEN TOP - 64"

A tool storage tray shall be installed over the passenger side equipment compartment, on the passenger side of the apparatus. The exterior dimensions shall be approximately: 16" wide, 10" high, and 64" long. The tool tray shall be constructed entirely of slotted aluminum on all exterior surfaces. The assembly shall have no lid, allowing for an open top with an enclosed front panel and rear panel. The tool tray shall be equipped with ventilated vinyl floor liner.

C-3615 REAR FOLD DOWN STEP

A lighted 8" square folding step of die cast zinc shall be installed. The step shall comply with NFPA non-slip standards and shall be installed on the rear of the body. The step shall be equipped with lighting to NFPA standard.

C-3614 REAR STEP, PULL OUT

There shall be a rear "Pull-Out-Fold-Down" step located at the rear of the apparatus, step shall be stowed in a pocket under the rear of the unit. Storage pocket shall be fabricated to allow easy access to deploying for operation.

C-4074 I-ZONE BRACKETS, REMOVABLE

Two easily removable I Zone brackets will be provided and mounted at the rear of the apparatus, one on each side. The brackets will be designed with adequate reinforcement to eliminate flexing of the body and not interfere with any of the rear facing lights when carrying hose. The brackets will be mounted beside upper grab rail on the rear and as high as practical.

C-3636 500 GALLONS, POLY

The water tank shall have a capacity of 500 gallons.

The water tank shall be constructed of black polypropylene, poly-welded and tested inside and out. The tank manufacturer shall define the floor, top, sides, ends, and baffles material thickness. The tank shall carry a lifetime warranty.

The transverse and longitudinal swash partitions shall be interlocked and welded to each other as well as to the walls of the tank. The partitions shall be designed and equipped with vent holes to permit air and liquid movement between compartments. The tank covers shall be welded on top and bottom, and the transverse partitions, providing rigidity during fast fill operations. Drilled and tapped holes for lifting eyes shall be provided in the top area of the water tank.

The water tank manufacturer shall certify the capacity of the water tank prior to delivery of the apparatus. This capacity shall be recorded on the manufacturer's data plate.

The water tank shall be rectangular in shape and engineered for a low center of gravity.

The water tank construction shall conform to applicable NFPA standards.

A 1.5" drain plug shall be installed in the bottom of the water tank under P/S wheel well for water tank draining and flush-out of debris.

The fill tower shall incorporate a vent and overflow system shall be designed into the water tank. The system shall include a 3" diameter pipe that functions both as an air vent while emptying the tank and as an overflow when filling the tank. The overflow shall discharge excess water below the frame rails of the vehicle.

The tank fill tower shall be located in the driver's side rear corner of the water tank.

The water tank shall be equipped with translucent water level sight gauge in the rear wall of the tank.

C-3658 NO -- ELECTRONIC WATER GAUGE

NO -- Electronic Water Gauge

C-5026 NO AUXILIARY WATER LEVEL GAUGES

NO -- Auxiliary Water Level Gauges

C-3677 PUMP, HALE, AUX, GAS, HPX200-B18

A Hale HPX200-B18 fire pump shall be installed on the apparatus. The pump/engine shall perform to the standards of ISO 9 and NFPA 1906 low-pressure pump rating. Typical pump performance from 4 foot draft at sea level using a 2.5" suction line and a 2.5" discharge shall be.

240 GPM @ 10 PSI
190 GPM @ 75 PSI
150 GPM @ 100 PSI.
60 GPM @ 150 PSI.

Pump

The pump body shall be made of alloy aluminum castings coupled together with a stainless steel band clamp with an O-ring seal which allows quick pump volute removal for servicing. The pump end shall be factory hydrostatically tested to 350 PSI for 10 minutes. The impeller shall be bronze. The renewable clearance rings shall be made of anodic

plated bronze to inhibit galvanic corrosion. The impeller shall be 4.87 inches in diameter and designed with a sleeve back end to prevent water from coming in contact with the engine shaft. The pump shaft seal shall be an automatically adjusting, maintenance free, mechanical type. The pump body shall be equipped with a petcock drain valve.

Engine

The engine shall be a four cycle gasoline Briggs and Stratton Vanguard series V-Twin, overhead valve, air cooled design. Engine rating shall be 18 BHP at 4000. Engine displacement shall be 570cc and shall be designed to meet CARB (California Air Resources Board) standards. A 12-volt electric system shall be provided with electric starter and a 16 amp alternator. Recoil backup engine starting shall be provided. Engine shall be equipped with a residential muffler with USDA approved spark arrestor.

Hale Products, Inc., herein referred to as "Hale", warrants products of its manufacture to be free from defects in material and workmanship, under normal use and service, for a period of three years (3). This limited warranty is effective only if the equipment or apparatus is used as directed, is not subjected to misuse, negligence or accident, and is not altered, treated or repaired by someone other than Hale or its designee. Additional details can be found in the Skeeter user's manual for this vehicle.

The auxiliary fire pump and engine assembly shall have a muffler and vertical exhaust pipe. The exhaust pipe shall be directed upward and away from the pump operator. A rain cap will be installed on the vertical exhaust outlet.

The pump shall be equipped with an exhaust venturi primer of brass and stainless steel construction. The primer shall be capable of 20 inches of mercury vacuum. The primer shall be actuated with a spring return, single control lever located at the operator's panel. The primer to pump line shall be equipped with an automatic check valve for priming from an open body of water and a manual shut-off for pumping from a pressurized water source.

The fire pump engine shall have an oil drain line installed. It shall allow for easy oil draining.

The auxiliary fire pump shall be installed at the rear of the body. The sub-structure shall have welded in mounting sub-plates between the structural members.

C-3689 AUX FIRE PUMP MNTG, P/S REAR, BOLTED

The auxiliary fire pump shall be installed at the passenger's side rear of the body. The sub-structure shall have welded in mounting sub-plates between the structural members.

C-3703 PUMP FUEL FROM FUEL CAN (STAINLESS) GAS ONLY

A stainless steel custom built remote fuel tank shall be installed for the auxiliary fire pump assembly at the rear of the apparatus. It shall be mounted in a position that makes filling as easy as possible. The fuel tank shall have capacity of approximately six (6) gallons. There shall be a fuel hose with plug in connections furnished between the fuel tank and carburetor assembly for the auxiliary pump.

C-4162 PUMP CONTROL PANEL - RECESSED REAR BUMPER MOUNT

A recessed pump panel enclosure shall be installed. The enclosure shall be fabricated of aluminum with a DA finish, bolted in place with a pump instrument panel installed.

An engine and pump control panel shall be provided at the rear of the vehicle. The following shall be located at the operator's position:

- 2.5" discharge pressure gauge
- start/stop control
- throttle control
- low oil pressure warning light

The pump control panel shall be recessed into the passenger's side rear corner of the rear vertical body wall. It shall be angled slightly for ease of access.

C-3706 MANIFOLD, SS (STANDARD)

The auxiliary fire pump plumbing system shall be built mostly of stainless steel piping, fittings, and connections. Victaulic couplings shall be installed to permit flexing of the plumbing system and allow for quick removal of piping or valves for service. Tank connections and remote plumbing shall use high-pressure flexible piping. Flexible hose couplings shall be threaded stainless steel or Victaulic connections.

This shall include valves and hose threads.

C-4733 VALVES, S/S, QUARTER TURN

All valves used in the plumbing installation shall be stainless steel quarter turn full flow type.

The plumbing installation shall include quarter turn ball valves with local "on-valve" handle control, with custom embossed labeling for each valve.

C-3897 NH HOSE THREADS

The hose threads shall be National Hose Standard (NH) on all base threads on the apparatus intakes and discharges, unless otherwise specified.

C-3704 2.5" PUMP INTAKE PLUMBING

The pump intake plumbing shall consist of the tank to pump line and the suction line.

The tank to pump line shall be installed with a flexible hump hose connection and stainless steel T-bolt clamps to the water tank. A 2.5" 1/4 turn ball valve shall be controlled with a manually operated handle directly on the valve.

The suction line shall be installed on the rear area to supply the fire pump from an external water supply. A 2.5" 1/4 turn ball valve shall be controlled with a manually operated handle directly on the valve. There shall be a 2.5" NH female thread connection with removable screen. There shall be a 2.5" plug attached with a cable.

C-3716 TANK FILL AND COOLING LINE 1.5" WATER

One (1) 1.5" fire pump to water tank refill and bypass cooler line shall be provided. The pump to tank valve shall be a 1.5" full flow quarter turn ball valve with local control handle. A 1.5" flex hose shall be installed to the water tank.

C-3708 DISCHARGE, 2.5", REAR, 2.5"FM X 1.5"M, 1

One (1) 2-1/2" discharge shall be installed at the rear pump area, controlled by a quarter turn ball valve. The discharge shall have 2-1/2" NH male hose threads. The discharge shall be equipped with 2-1/2" female x 1-1/2" chrome plated brass reducer, 1-1/2" chrome cap and cable.

C-3712 DISCHARGE, 3/4"GH, REAR, GARDEN HOSE OUT

One (1) 3/4" garden hose discharge shall be installed on the rear pump area, controlled by a quarter turn ball valve with local control handle. The discharge shall have a 3/4" male garden hose threads and cap.

C-3739 WHIP HOSE LINES (2) FRONT BODY 1" X 10'

A 1.5" discharge shall be piped from the rear pump area to the front on the body. A 1.5" master control valve shall be installed at the rear pump manifold area with direct control handle. Two (2) 1" valves with swivels shall be installed at the front of the water tank.

Two (2) 1" x 10' long 300# working pressure hose whips with threaded couplings shall be installed at front of body, one each side, with securement devices.

C-3722 HOSE REEL, HANNAY, D/S MOUNT

One (1) Hannay aluminum hose reel shall be installed. The reel shall have leak proof ball bearing swing joint, adjustable friction brake, electric 12 volt rewind and manual crank rewind provisions.

The reel shall be mounted on the driver's side rear corner of the flatbed body.

One (1) 1" discharge shall be piped from the fire pump to each hose reel with flexible high pressure hose. The quarter turn ball valve shall be on manifold.

The hose reel shall be provided with a Hannay top mounted stainless steel roller assembly.

C-3725 200 FOOT REEL CAPACITY

Each hose reel shall have a capacity of 200 feet of hose.

C-3731 HOSE, WATER, 300#, 1" X 150'

One (1) 150' foot length of 1" water hose shall be installed on the hose reel. The hose shall be equipped with NH threaded couplings and have a 300 PSI working pressure.

C-3714 GROUND SWEEP DISCHARGES, FRONT BUMPER

Two (2) ground sweep discharge nozzles shall be installed, one each side of the front bumper. Each nozzle shall have a 1" electric control

valve, switched independently in the cab. The discharges shall be equipped with removable ground sweep nozzles angled accordingly with a 180 degree total front sweep pattern. The flow rate shall be 15-30 gpm.

Each nozzle shall have a custom fabricated brush guard installed to protect from damage when off road. The valves and manifold shall be protected from damage by the front bumper and skid plate.

One (1) 1.5" front bumper ground sweep discharge shall be piped to the front bumper area. The discharge shall be controlled by a 1.5" manual override valve at the rear pump area. Flexible 1.5" diameter high pressure hose shall be provided from the pump to the sweep nozzles with low point drains where necessary.

There shall be an 1.5" stainless steel valve, with a flexible supply hose installed to feed the front discharge manifold.

C-4629 NO MONITOR - INCAPATIBLE BUMPER

The will not be a front bumper monitor due to not being compatible with the selected front bumper.

C-3695 FOAM SYSTEM, FOAMPRO 1601, CLASS A

A FoamPro part number S106-1600/2.0 electronic foam system shall be provided. The system shall be designed for use with Class A foam concentrate. The foam proportioning operation shall be designed for direct measurement of water flows and shall remain consistent within the specified flows and pressures. The system shall be capable of accurately delivering foam solution as required by applicable sections of the NFPA standards.

The system shall be equipped with a control module suitable for installation on the pump panel. There shall be a microprocessor incorporated within the motor driver that shall receive input from the system's flow meter, while also monitoring the foam concentrate pump output. The microprocessor shall compare the values to ensure that the desired amount of foam concentrate is injected onto the discharge side of the fire pump. A "foam capable" paddlewheel-type flow meter shall be installed in the discharge side of the piping system.

The control module shall enable the pump operator to:

1. Activate the foam proportioning system

2. Select the proportioning rates from 0.1% to 1.0%
3. See a "low concentrate" warning light flash when the foam tank level becomes low and in two (2) minutes, if the foam concentrate has not been added to the tank, the foam concentrate pump shall be capable of shutting down.

A 12-volt electric motor driven positive displacement plunger pump shall be provided. The pump capacity range shall be 0.1 to 1.7 GPM at 200 PSI with a maximum operating pressure of 400 PSI. The system shall draw a maximum of 30 amps at 12 volts. The motor shall be controlled by the microprocessor which shall be mounted to the base of the pump. It shall receive signals from the control module and power the 1/3 horsepower electric motor in a variable speed duty cycle to ensure that the correct proportion of concentrate is injected into the water stream.

A full flow check valve shall be provided in the discharge piping to prevent foam contamination of the fire pump and water tank. A 5 PSI opening pressure check valve shall be provided in concentrate line.

Components of the complete proportioning system as described above shall include:

1. Operator control module
2. Paddlewheel flow meter
3. Pump and electric motor/motor driver
4. Wiring harnesses
5. Low level tank switch
6. Foam tank
7. Foam injection check valve
8. Main waterway check valve
9. Flowmeter and tee with NPT threads.

The foam system shall be installed and calibrated to manufacturer's requirements. In addition the system shall be tested and certified by the apparatus manufacturer to applicable NFPA standards.

The foam system design shall be tested and pass environmental testing in accordance with SAE standards. An installation and operation manual shall be provided for the unit. The system shall have a one (1) year limited warranty by the foam system manufacturer.

The FoamPro 1600 Series foam system shall be provided with a six (6) foot control cable from the controller to the foam pump assembly. The

FoamPro 1600 Series foam system shall be provided with a standard pump panel mounted FoamPro control head. The Foam Pro shall have a secondary On / Off push button control located in cab.

A FoamPro part number 2660-0032 brass flowmeter shall be provided. The flowmeter shall be installed in the "foam capable" discharge line. The flowmeter shall have maximum accuracy between the flow range of 15 GPM and 520 GPM and be capable of operation between 5 GPM to 625 GPM. The tee shall have NPT and Victaulic inlet and outlets connections.

A FoamPro part number 6032-0018 instruction and system rating label shall be provided. The label shall display information for a FoamPro 1600 Series foam system and shall meet applicable sections of the NFPA standards. A FoamPro foam system schematic label shall be installed on the pump panel near foam controls. The label shall be a diagram of the FoamPro 1600 foam system layout and shall meet applicable sections of the NFPA standards.

A 1" fitting shall be provided on the foam tank for connection of the foam tank to the suction side of the foam system.

C-3661 FOAM TANK CAPACITY, 10 GALLONS, CLASS A,

The Class A foam tank shall have a capacity of 10 gallons.

The foam concentrate tank shall be provided with a fill pipe having a volume of not less than 2 percent of the total tank volume. The filler opening shall be capped with a sealed air-tight threaded cover. The fill opening shall be designed to incorporate a removable screen and shall be located so that foam concentrate from a five (5) gallon container can be dumped into the tank.

The foam tank filler shall be equipped with a pressure/vacuum vent that enables the tank to compensate for changes in pressure or vacuum when filling or withdrawing foam concentrate from the tank. The pressure/vacuum vent shall not allow atmospheric air to enter the foam tank except during operation or to compensate for thermal fluctuations. The vent shall be protected to prevent foam concentrate from escaping or directly contacting the vent at any time. The vent shall be of sufficient size to prevent tank damage during filling or foam withdrawal.

A color coded label or visible permanent marking that reads "CLASS A

-- FOAM TANK FILL" shall be placed at or near the foam concentrate tank fill opening. An additional label shall be placed at or near any foam concentrate tank fill opening stating the type of foam concentrate the system is designed to use.

Any restrictions on the types of foam concentrate that can be used with the system shall also be stated, along with a warning message that states "WARNING: DO NOT MIX BRANDS AND TYPES OF FOAM."

A 3/4" fitting shall be provided on the foam tank for connection of the foam tank to the suction side of the foam system.

A 3/4" diameter connection, piping, and valve shall be installed for the foam tank for draining purposes.

C-3670 FOAM TANK DRAIN AND VALVE, 1"

A 1" diameter connection, piping, and valve shall be installed for the foam tank for draining purposes. Drain shall discharge underneath the bed.

*Not subject to valve upgrade

C-3764 STOP/TAIL/TURN LIGHTS, WHELEN M6BTT/M6FC

Two (2) Whelen M6 Series Model M6BTT 4-5/16" x 6-3/4" brake, turn, tail lights with M6FC chrome flanges shall be provided. The warning lights shall incorporate Linear Super-LED and Smart LED technology. The lighthouse configuration shall consist of 18 red Super-LEDs and a clear optic polycarbonate lens. The lighthouses shall be surface mountable via two screws.

The lighthouses shall utilize an optic collimator and a chrome vacuum metalized reflector for maximum illumination. The lighthouse shall include 164 flash patterns including: a variety of CA Title 13 compliant, sinkable, left/right, top/bottom, in/out, and steady burn. The lighthouses shall have the Whelen exclusive NERM (Non-Emergency Recognition Mode) feature.

The lens/reflector assembly shall be wet sealed and resistant to: water, moisture, dust, and other environmental conditions. The outer lens shall have a hard coating applied to increase strength and ensure longevity. The light engine shall be installed at the rear of the unit and be completely sealed. The pc board shall be conformal coated for additional protection.

The lights shall be furnished with five 6" wire pigtails, a Santoprene rubber gasket and the #M6FC chrome flanges shall be included for installation.

C-3765 BACK UP LIGHTS, WHELEN M6 SERIES, LED,

Two (2) Whelen M-Series, 4" x 6" rear LED back-up lights shall be installed.

C-4535 SIREN, ELECTRONIC, WHELEN, CORE

A Whelen CenCom Core system shall be provided. This system shall control the warning and scene lights as directed by the fire department.

The control head shall be the CCTL7. It is a 3 Section Control Head with 21 Push-Buttons, a 4-Position Slide Switch, and a microphone with extension Cable.

C-3747 SIREN SPEAKER (1)

One (1) Whelen Model #SA315P Projector Series siren speaker shall be provided with bracket. The 100 watt siren speaker shall be designed in a black nylon composite housing with 123 decibel rating.

Location shall be: Behind the front grille.

C-3743 LIGHTBAR, WHELEN, LEGACY

A Whelen Legacy low profile Super-LED NFPA lightbar shall be installed. The 54" lightbar shall be designed to meet the minimum clearing requirements for Zone A Upper. The internal components of the lightbar shall be housed within a two piece extruded aluminum base/top. The outer shell shall be clear optic polycarbonate lenses designed to maximize light output and shield against environmental elements.

The lightbar shall utilize snap-in brackets to hold in the lightheads. The brackets shall give the end user the ability to make quick repairs. The lightbar shall have all solid state components. The lightbar shall have two wire harnesses exiting the unit: one (1) 17 conductor 22 gauge control cable which controls all internal light functions; and one (1) 2 conductor 10 gauge cable for main power and ground. Each cable shall be 15' long.

The lightbar shall have four (4) red Linear Super-LED corner modules to provide off angle protection for the front and rear of the vehicle. Each corner module shall consist of twelve (12) Super-LEDs mounted within a vacuum metalized parabolic reflector. The corner module shall also utilize an optic collimator for maximum light output. The twelve (12) LEDs shall be mounted in one straight line.

The solid state I/O board shall be microprocessor controlled. The I/O board shall have built-in reverse-polarity protection and output-short protection. The board shall have the ability to flash sixteen (16) LED warning lights. There shall be a data bank of 13 Scan-Lock flash patterns including steady burn. The board shall also have outputs to add takedown and alley lights. Low power and cruise light function shall also be included. The cruise light function shall allow the user to employ the four (4) corner modules as marker courtesy lights.

The lightbar shall include clear "Take Down" and "Alley Lights".

The lightbar shall have an amber "Traffic Advisor" built into the rear portion of the lightbar.

C-3744 LIGHTBAR MOUNT, FRONT OF BODY, WITH GUARD

The lightbar shall be mounted on the front of the body with an aluminum brush guard protective assembly.

C-3750 WARNING LIGHTS, WHELEN, M-6 SERIES (12)

ZONE A -- LOWER FRONT WARNING LIGHTS

Two (2) Whelen M-6RC Series 4" x 6" warning lights shall be installed in the lower front area of the cab. The warning lights shall incorporate Linear-Super LED and Smart LED technology. Each lighthouse shall have six (6) RED Super-LEDs with a clear non-optic polycarbonate lens for maximum light spread. Each lighthouse assembly shall have internal flasher, eleven (11) Scan-Lock flash patterns, including steady burn and synchronize power functions. The lighthouses shall have a conformal coated circuit board for moisture protection. The lights shall be mounted in a chrome plastic flange bezel assembly.

COLOR: RED LED/CLEAR LENS

ZONE B AND D -- INTERSECTION LIGHTS

Two (2) Whelen M-6RC Series 4" x 6" warning lights shall be installed. The warning lights shall be installed in lower front bumper or cab fenders, one (1) each side, as far forward as possible. The warning

lights shall incorporate Linear-Super LED and Smart LED technology. The lighthouse shall have six (6) RED Super-LEDs with a clear non-optic polycarbonate lens for maximum light spread. The lighthouse assembly shall have internal flasher, eleven (11) Scan-Lock flash patterns, including steady burn and synchronize power functions.

COLOR: RED LED/CLEAR LENS

ZONE B AND D -- LOWER REAR WARNING LIGHTS

Two (2) Whelen M-6RC Series 4" x 6" warning lights shall be installed. The warning lights shall be located one (1) each side lower rearmost side body area as space permits. The warning lights shall incorporate Linear-Super LED and Smart LED technology. The lighthouses shall have six (6) RED Super-LEDs with a clear non-optic polycarbonate lens for maximum light spread.

COLOR: RED LED/CLEAR LENS

ZONE B AND D -- UPPER SIDE REAR WARNING LIGHTS

Two (2) Whelen M-6RC Series Model #M6R 4" x 6" warning lights and a chrome flange shall be upper rear body side panel. The warning lights shall incorporate Linear Super-LED and Smart LED technology. The lighthouses shall have six (6) RED Super-LEDs with a clear non-optic polycarbonate lens for maximum light spread.

COLOR: RED LED/CLEAR LENS

ZONE C -- UPPER REAR WARNING LIGHTS

Two (2) Whelen M-6RC Series Model #M6R 4" x 6" warning lights and a chrome flange shall be installed in the upper rear body panel. The warning lights shall incorporate Linear Super-LED and Smart LED technology. The lighthouses shall have six (6) RED Super-LEDs with a clear non-optic polycarbonate lens for maximum light spread.

COLOR: RED LED/CLEAR LENS

ZONE C -- LOWER REAR WARNING LIGHTS

Two (2) Whelen M-6RC Series 4" x 6" warning lights shall be installed. The warning lights shall be located one (1) each side, rear lower area of body. The warning lights shall incorporate Linear-Super LED and Smart LED technology. The lighthouses shall have six (6) RED Super-LEDs with a clear non-optic polycarbonate lens for maximum light spread.

COLOR: RED LED/CLEAR LENS

C-4927 HEADLIGHT FLASHER

A Whelen UHF2150A alternating headlight flasher system shall be installed.

AUTO-ON AND HIGH BEAM FUNCTIONS DISABLE WIG-WAG OPERATION

C-3756 SCENE LIGHT, (6) RIGID

Six (6) Rigid Manufacturing Dually 202113 scene lights shall be installed. The LED scene lights shall incorporate clear LED's with a clear optic polycarbonate lens for maximum illumination.

Location shall be: Two (2) outward facing, each side of body, two (2) rear facing.

C-3618 BODY WORK LIGHTS, (4)

Four (4) Grote #63871 LED body work lights with clear lens shall be installed, wired to switch on the Cencom. They shall have an aluminum housing, and be 800 lumens at 1.4 amps.

Location shall be: in each corner of the protective tubing assembly to light the pump panel and the front body walkway area.

C-4070 GROUND LIGHTS - CHASSIS - LED STRIPS - 4DOOR

Four (4) LED ground strip lights shall be installed under the cab step area in compliance with NFPA standards, two (2) on each side of the apparatus, wired to the Cencom, and the chassis interior lights.

C-3617 GROUND LIGHTS, UNDER REAR STEP

Two (2) led ground lights shall be installed under the rear step area, one on each side of the apparatus.

C-4468 BLUE SEA CHARGING SYSTEM WITH SUR EJECT

The apparatus shall be equipped with a Blue Sea battery charging system with Blue Sea Sure-Eject receptacle.

The charger (PN: 7606) shall be mounted beneath the rear bench seat, inboard of the fuse box. Sure Eject module (PN: 7851) shall be

mounted beneath the driver's cab door, beside air supply coupling.

RED COVER (PN: 7821)

C-3598 DOOR AJAR LIGHT, LED

A "door ajar" warning light shall be installed on the center console. The light shall be flashing red LED light with a clear lens.

The door ajar light shall be activated by door ajar switches installed on every compartment door.

C-3779 STRIPE, REFLECTIVE, 3M DIAMOND GRADE, REAR CHEVRON,

There shall be alternating chevron striping installed on the rear vertical body panel. The chevron striping shall consist of 6" diamond grade in the following colors:

Colors to be determined at preconstruction meeting.

C-3769 CUSTOM DOOR GRAPHICS

The apparatus shall be provided with FOUR (4) custom designed sign gold graphics, emblems, or seals. The installation shall be designed primarily with letters and numbers as specified. The purchaser shall approve of the design graphics prior to installation.

C-3768 NO -- LETTERING

NO -- Lettering

C-3771 STRIPE, CAB/BODY, SINGLE REFLECTIVE, 4"

The cab and body shall have a straight Scotchlite reflective stripe applied horizontally. The stripe shall be a 4" minimum in width and be applied horizontally around the cab and body in accordance with NFPA standards. The purchaser shall specify the color and location of the stripe.

C-4195 CAB ROOF NUMBERS

There shall be up to four (4) white scotchlite letters on the roof of the cab, 18" tall.

C-3736 NOZZLE MOUNTING

Each 1" flexible hose discharge shall have a nozzle bracket installed to hold the nozzles in place.

C-3820 SUCTION HOSE, (2) 2.5" X 8'

Two (2) 2.5" x 8 foot lengths of Kocheck PVC flexible suction hose shall be provided and equipped with lightweight couplings.

C-3784 SPANNER SET, KOCHECK, 2-SPANNER/HYDRANT

One (1) Kocheck lightweight spanner wrench holder shall be installed. The bracket shall hold one (1) hydrant wrench and two (2) universal spanners.

Location: TBD at Preconstruct

C-3525 BATTERY SWITCH, MASTER DISCONNECT, CH, R

A rotary type master disconnect switch shall be provided in the cab within easy reach of the driver. The switch shall have a switch plate with Off/On label.

There shall be a GREEN indicator light in the center console indicating the power is "ON".

C-3759 FUSE BOX

An electric enclosure for the 12 volt wiring shall be installed in the the apparatus. It shall have a removable panel or door to be able to access the components inside for maintenance purposes. It will be mounted in a location predetermined by the factory, accessible to the end user. Size shall be pre-determined by the factory.

C-3758 BACK UP ALARM

One (1) back up alarm shall be installed.

C-3763 LICENSE PLATE, MOUNTING

There shall be mounting provisions for the front and rear license plates.

An LED license plate light shall be installed on the rear vertical wall of the body for the rear license plate.

C-3762 CLEARANCE LIGHTS, LED, DOT

All LED identification lights shall be installed on the vehicle as required by applicable highway regulations.

C-4429 MUD FLAPS, REAR WHEELS, SEV LOGO

The chassis shall be supplied with mud flaps with the manufacturer's logo. The mud flaps shall be installed behind the rear wheels.

C-3570 EMBLEMS, SKEETER

Three (3) Skeeter emblems will be affixed to the cab and body.

C-4022 DRAWINGS

There shall be design drawings submitted to the customer prior to the pre-construct conference. The CAD drawings shall include all sides of the apparatus. The customer shall agree to the drawings reflecting the correct apparatus design and layout prior to construction.

C-3760 ELECTRICAL HARNESS & WIRING

The following describes the low voltage electrical system on the apparatus including all panels, electrical components, switches and relays, wiring harnesses and other electrical components. The apparatus manufacturer shall conform to the latest Federal DOT standards, current automotive electrical system standards and the applicable requirements of the NFPA.

Wiring shall be stranded copper or copper alloy conductors of a gauge rated to carry 125 percent of the maximum current for which the circuit is protected. Voltage drops shall not exceed 10 percent in all wiring from the power source to the using device. The wiring, wiring harness and insulation shall be in conformance to applicable SAE and NFPA standards. The wiring harness shall conform to SAE J-1128 with GXL temperature properties. Exposed wiring shall be run in a loom with a minimum 289 degree Fahrenheit rating. Wiring looms shall be properly supported and attached to body members. Electrical conductors shall be constructed in accordance with applicable SAE standards, except when good engineering practice requires special construction.

All wiring connections and terminations shall provide positive mechanical and electrical connections and be installed in accordance with the device manufacturer's instructions. When wiring passes through metal panels, electrical connections shall be secured with mechanical type fasteners and rubber grommets

Wiring between cab and body shall be split using connectors or enclosed in a terminal junction panel allowing body removal with minimal impact on the apparatus electrical system. Connections shall be crimp-type with heat shrink tubing with insulated shanks to resist moisture and foreign debris such as grease and road grime. Weather resistant connectors shall be provided throughout the system.

Electrical junction or terminal boxes shall be weather resistant and located away from water spray conditions. When required, automatic reset breakers and relays shall be housed in the main body junction panel.

There shall be no exposed electrical cabling, harnesses, or terminal connections located in compartments, unless enclosed in an electrical junction box or covered with a removable electrical panel. Wiring shall be secured in place and protected against heat, liquid contaminants and damage.

Low voltage overcurrent protective devices shall be provided for the electrical circuits. The devices shall be accessible and located in required terminal connection locations or weather resistant enclosures. Overcurrent protection devices shall be automatic reset type suitable for electrical equipment and meet SAE standards. All electrical equipment, switches, relays, terminals, and connectors shall have a direct current rating of 125 percent of maximum current for which the circuit is protected. Electro-magnetic interference suppression shall be provided in the system as required in applicable SAE standards.

The electrical system shall include the following:

Electrical terminals in weather exposed areas shall have a non-conductive grease or spray applied. All terminal plugs located outside of the cab or body shall be treated with a corrosion preventative compound.

All electrical wiring shall be placed in a protective loom or be harnessed.

Exposed connections shall be protected by heat shrink material and sealed connectors.

Large fender washers shall be used when fastening equipment to the underside of the cab roof and all holes made in the roof shall be caulked with silicone.

Electrical components installed in exposed areas shall be mounted in a manner that will not allow moisture to accumulate inside.

A coil of wire must be provided behind an electrical appliance to allow them to be pulled away from mounting area for inspection and service work.

All lights in a weather exposed area that have their sockets shall have corrosion preventative compound added to the socket terminal area.

All wiring shall be hidden, enclosed, or protected under the body in protective material, or within the apparatus body components. In addition, split loom conduits shall be installed and enclosed, suitably secured and protected against heat and physical damage.

C-3780 CAPACITIES PLACARD, REFLECTIVE

The apparatus shall have a reflective placard that provides the following information:

- Water Tank Capacity
- Pump Capacities
- NWCG Typing
- Skeeter Contact Information

C-3474 CHASSIS PREP

The chassis cab shall be "prepped" for fire apparatus production as follows:

- a) Wash and clean chassis
- b) Weigh chassis for NFPA reports
- c) Quality control check in.

C-3630 FINAL ASSEMBLY

The apparatus shall be assembled in a high quality and controlled environment. The fit, form, and finish of the body shall be to the highest level fire apparatus manufacturing standards. Upon completion, the apparatus shall be ready for final inspection and road testing as required herein.

C-3795 OPERATIONAL PUMP TEST

The fire pump shall have an operational pump test performed by a Skeeter Emergency Vehicles technician with a run time of one (1) hour to confirm proper operations of all pump related components.

*** NOTE: ALL TESTING SHALL BE DONE AND PERFORMANCE OBSERVED BETWEEN SEA LEVEL AND 1000' ELEVATION.

*** HIGH ALTITUDE PERFORMANCE MAY NOT REPRESENT TESTING RESULTS SHOWN.

C-3796 12V ELECTRICAL LOAD

A 12 volt electrical load analysis shall be performed in order to test response and stationary modes of electrical amp load.

C-3799 ROAD TEST, 10 MILES

A road test will be conducted with the apparatus fully loaded and a continuous run of no less than ten (10) miles. During that time the apparatus will show no loss of power nor will it overheat. The transmission drive shaft or shafts and the axles will run quietly and be free of abnormal vibration or noise.

C-3800 5-YEAR PARTS & LABOR/10-YEAR BODY INTEGR

A five (5) year parts and labor warranty on items manufactured by Skeeter Emergency Vehicles and a ten (10) year warranty on the structural integrity of the body. For warranty issues please contact your local dealer or Skeeter Emergency Vehicle service center and request warranty from the service advisor at that location.

C-4523 BASIC APPARATUS LABELING

Per NFPA a permanent label shall be mounted in the cab showing the following information:

A permanent label in the driving compartment shall specify the quantity and type of the following fluids used in the vehicle and tire information:

1. (1)
Engine oil
2. (2)
Engine coolant
3. (3)
Chassis transmission fluid
4. (4)
Pump transmission lubrication fluid
5. (5)
Pump priming system fluid, if applicable
6. (6)
Drive axle(s) lubrication fluid
7. (7)
Air-conditioning refrigerant

- 8. (8)
Air-conditioning lubrication oil
- 9. (9)
Power steering fluid
- 10. (10)
Cab tilt mechanism fluid
- 11. (11)
Transfer case fluid
- 12. (12)
Equipment rack fluid
- 13. (13)
CAFS air compressor system lubricant
- 14. (14)
Generator system lubricant
- 15. (15)*
Front tire cold pressure
- 16. (16)*
Rear tire cold pressure
- 17. (17)
Maximum tire speed ratings

There shall be a label identifying the number of seat belted locations on the unit.

A final stage manufacturer shall install "hearing loss" potential warning labels on the vehicle in any areas or fixed equipment that produces excessive noise levels. (exhaust outlet, sirens and air horns shall not be required for such equipment.)

A warning label stating: "NO RIDING ON REAR OF APPARATUS" shall be installed on rear of the apparatus. The label shall be applied to the vehicle at the rear step area. The label shall warn personnel that riding in or on these areas, while the vehicle is in motion, is prohibited.

The below listed labels shall be installed on/in the apparatus. All label shall comply with NFPA 1906, 2016 Edition standards on location and design set in each standard.

- (1) NFPA 1906: 12.2.3.3 - Fluid Data Label
- (2) NFPA 1906: 14.1.3.7 - Safety Sign FAMA07, Seat Belt Use
- (3) NFPA 1906: 14.1.7.5 - Safety Sign FAMA43, No Helmets Vehicle in Motion
- (4) NFPA 1906: 16.13.1.3.1 - Pump Test Label

The following shall be installed or provided on the apparatus in accordance with NFPA 1906:

One (1) placard indicating fluid type and capacity shall be installed on the apparatus

One (1) Label indicating height and weight of the apparatus shall be installed in a location visible to the driver.

One (1) Safety Sign, FAMA 06, which warns of the need to use a seatbelt while the vehicle is in motion.

One (1) Safety Sign, FAMA 10, which warns of the need secure all loose items in the cab while the vehicle is in motion.

One (1) Safety Sign, FAMA 24, which warns against riding on the vehicle while it is in motion.

One (1) Safety sign, FAMA 23, which warns of the proper climbing method, shall be visible to personnel entering the cab and at each designated climbing location on the body.

One (1) Safety sign, FAMA 25, which warns of the need for training prior to operating the apparatus, shall be located on the pump operator's panel.

One (1) Safety Sign, FAMA 43, warning not to wear helmets while vehicle is in motion shall be visible from each seat.

One (1) Indicator installed in the cab of the apparatus that when illuminated will indicate "Pump Engaged" and "OK to Pump" if the apparatus is designed to pump and roll the indicator shall be labeled "OK" to Pump and Roll"

C-3785 PRE-CONSTRUCTION CONFERENCE, AT FACTORY

A pre-construction conference shall be held at Skeeter Emergency Vehicles manufacturing facility in Hillsboro, Texas. The purpose of the conference is to review and clarify aspects of apparatus components and construction. It shall be attended by representatives of the purchasing department, the apparatus dealer, and Skeeter Emergency Vehicles.

The transportation to this meeting shall be the responsibility of purchaser.

C-4269 FINAL INSPECTION AT SKEETER

Representatives from the purchaser and the dealer shall be present at Skeeter's manufacturing facility in Hillsboro, Tx for the final inspection of the apparatus. A factory representative will assist the purchaser with review of the specifications to confirm they match the apparatus.

Cost of transportation to and from the facility shall be the responsibility of the purchaser.

*** NOTE, UNLESS PRIOR APPROVAL BY SKEETER BRUSH TRUCKS, FINAL INSPECTION AT THE PLANT IS MANDATORY ***

C-3790 TRAINING, FACTORY SUPPLIED, FACTORY LOCA

The bidder shall demonstrate and familiarize the purchaser regarding the vehicle's operation. This shall include operation of chassis, major components, review of delivery information and documentation. This demonstration shall be completed at Skeeter Brush Trucks factory location in Hillsboro, Texas.

C-3792 DELIVERY, PURCHASER PICKUP

The apparatus shall be picked up at the manufacturer's plant by the purchaser.

*It is the purchaser's responsibility to transport all loose equipment not physically mounted to the apparatus

C-3787 PAYMENT TERMS, 100% ON DELIVERY AND ACCE

Terms of payment for the specified vehicle shall be only cash or equivalent on delivery and acceptance for the unit. No bid will be considered which requires the purchaser to deposit with the bidder a down payment, prepayment of chassis, or any other such consideration as a condition of the bid. Such a requirement shall be grounds for immediate rejection of the bid.



Spec # 2545 Print List

Spec #: 2545	Dealership: Siddons-Martin Emergency Group	Chassis: C-4433.4 (Ford F550 - 4x4 - Diesel - 4 Door 84" CA- CUSTOMER SUPPLIED)
Job #:	Sales Rep: Ryan Crady	Body:
Creation Date: 01/09/2025	Account: Fredericksburg Fire Department	Truck Desc.: 2545 Fredericksburg CS F550 Skeeter Step Side
Notes:		NWCG Typing: Type 5

Components

#	Component Description	Category	Quantity
C-4433	Ford F550 - 4x4 - Diesel - 4 Door 84" CA- CUSTOMER SUPPLIED	Chassis	1
C-4137	84" Cab to Axle	Chassis	1
C-3478	Cab Paint - Solid - Stock Color	Chassis	1
C-5590	Skeeter Cab Steps - Frame Mounted - Crew Cab	Chassis	1
C-3479	No Lift or Larger Tires	Chassis	1
C-3481	Tires/Wheels - OEM Tires and Wheels	Chassis	1
C-3867	Spare - OEM Tire/Wheel	Chassis	1
C-3493	Front Bumper - Ranchhand Steel - Powdercoat Black	Chassis	1
C-3497	Skid Plate - Front Bumper - 1/4in Aluminum	Chassis	1
C-3499	Skid Plate - Transfer Case - 1/4in Aluminum	Chassis	1
C-3517	Front Winch - 10000lbs - WARN - Fixed	Chassis	1
C-5624	Front Mount, Flip Up, Roller Fairlead	Chassis	1
C-3519	Console, Alum/Poly, SM Truck	Chassis	1
C-4551	Power Outlets, 12V, Dual 4.8A USB, Cab	Chassis	1
C-3532	None - No Radio Install	Chassis	1
C-4003	Install Radio Antennas (Antennas Only)	Chassis	1
C-5180	Camera System - OEM - Rear Camera	Chassis	1
C-3612	Rear Receiver - Standard - Winch/Rope/Trailer	Chassis	1
C-3530	Trailer Plug - 12V - 7 Pin	Chassis	1
C-3549	Step Side Body, Alum, 138" x 96", 84" CA	Wildland Body	1
C-4132	Diamond Plate	Wildland Body	1
C-4694	Step-Side Grate Floors, Full Step-Side - Upgrade	Wildland Body	1
C-4300	Compartment, D/S, Lift-Up Dual Door 72"	Wildland Body	1
C-4301	Compartment, P/S, Lift-Up Dual Door 72"	Wildland Body	1
C-4555	Rear Center Under Body Compt 120"	Wildland Body	1
C-4690	Dividers For Hard Suction - With Slide out Tray	Wildland Body	1



Spec # 2545 Print List

#	Component Description	Category	Quantity
C-4437	D/S Hose Tray - Slotted - 64"	Wildland Body	1
C-4452	P/S Tool Tray - Slotted, Open Top - 64"	Wildland Body	1
C-3615	Rear Fold Down Step	Wildland Body	1
C-3614	Rear Step, Pull out	Wildland Body	1
C-4074	I-zone Brackets, Removable	Wildland Body	1
C-3636	500 Gallons, Poly	Wildland Plumbing	1
C-3658	NO -- Electronic Water Gauge	Wildland Plumbing	1
C-5026	No Auxiliary Water Level Gauges	Wildland Plumbing	1
C-3677	Pump, Hale, Aux, Gas, HPX200-B18	Wildland Plumbing	1
C-3689	Aux Fire Pump Mntg, P/S Rear, Bolted	Wildland Plumbing	1
C-3703	Pump Fuel from Fuel Can (Stainless) Gas Only	Wildland Plumbing	1
C-4162	Pump Control Panel - Recessed Rear Bumper Mount	Wildland Plumbing	1
C-3706	Manifold, SS (Standard)	Wildland Plumbing	1
C-4733	Valves, S/S, Quarter Turn	Wildland Plumbing	1
C-3897	NH Hose Threads	Wildland Plumbing	1
C-3704	2.5" Pump Intake Plumbing	Wildland Plumbing	1
C-3716	Tank Fill and Cooling Line 1.5" Water	Wildland Plumbing	1
C-3708	Discharge, 2.5", Rear, 2.5"FM x 1.5"M, 1	Wildland Plumbing	1
C-3712	Discharge, 3/4"GH, Rear, Garden Hose Out	Wildland Plumbing	1
C-3739	Whip Hose Lines (2) Front Body 1" x 10'	Wildland Plumbing	1
C-3722	Hose Reel, Hannay, D/S Mount	Wildland Plumbing	1
C-3725	200 Foot Reel Capacity	Wildland Plumbing	1
C-3731	Hose, Water, 300#, 1" x 150'	Wildland Plumbing	1
C-3714	Ground Sweep Discharges, Front Bumper	Wildland Plumbing	1
C-4629	No Monitor - INCAPATIBLE BUMPER	Wildland Plumbing	1
C-3695	Foam System, FoamPro 1601, Class A	Wildland Plumbing	1
C-3661	Foam Tank Capacity, 10 Gallons, Class A,	Wildland Plumbing	1
C-3670	Foam Tank Drain and Valve, 1"	Wildland Plumbing	1
C-3764	Stop/Tail/Turn Lights, Whelen M6BTT/M6FC	Electrical	1
C-3765	Back up Lights, Whelen M6 Series, LED,	Electrical	1
C-4535	Siren, Electronic, Whelen, Core	Electrical	1
C-3747	Siren Speaker (1)	Electrical	1
C-3743	Lightbar, Whelen, Legacy	Electrical	1
C-3744	Lightbar Mount, Front of Body, with Guard	Electrical	1
C-3750	Warning Lights, Whelen, M-6 Series (12)	Electrical	1
C-4927	Headlight Flasher	Electrical	1
C-3756	Scene Light, (6) Rigid	Electrical	1
C-3618	Body Work Lights, (4)	Electrical	1
C-4070	Ground Lights - Chassis - LED Strips - 4Door	Electrical	1
C-3617	Ground Lights, Under Rear Step	Electrical	1



Spec # 2545 Print List

#	Component Description	Category	Quantity
C-4468	Blue Sea Charging System With Sur Eject	Electrical	1
C-3598	Door Ajar Light, LED	Electrical	1
C-3779	Stripe, Reflective, 3M Diamond Grade, Rear Chevron,	Graphics	1
C-3769	Custom Door Graphics	Graphics	1
C-3768	NO -- Lettering	Graphics	1
C-3771	Stripe, Cab/Body, Single Reflective, 4"	Graphics	1
C-4195	Cab Roof Numbers	Graphics	1
C-3736	Nozzle Mounting	Wildland Equipment	1
C-3820	Suction Hose, (2) 2.5" x 8'	Wildland Equipment	1
C-3784	Spanner Set, Kocheck, 2-Spanner/Hydrant	Wildland Equipment	1
C-3525	Battery Switch, Master Disconnect, CH, R	Required Components	1
C-3759	Fuse Box	Required Components	1
C-3758	Back Up Alarm	Required Components	1
C-3763	License Plate, Mounting	Required Components	1
C-3762	Clearance Lights, LED, DOT	Required Components	1
C-4429	Mud Flaps, Rear Wheels, SEV Logo	Required Components	1
C-3570	Emblems, Skeeter	Required Components	1
C-4022	Drawings	Required Components	1
C-3760	Electrical Harness & Wiring	Required Components	1
C-3780	Capacities Placard, Reflective	Required Components	1
C-3474	Chassis Prep	Required Components	1
C-3630	Final Assembly	Required Components	1
C-3795	Operational Pump Test	Required Components	1
C-3796	12V Electrical Load	Required Components	1
C-3799	Road Test, 10 miles	Required Components	1
C-3800	5-Year Parts & Labor/10-Year Body Integr	Required Components	1
C-4523	Basic Apparatus Labeling	Other	1
C-3785	Pre-Construction Conference, At Factory	Other	1
C-4269	Final Inspection at Skeeter	Other	1
C-3790	Training, Factory Supplied, Factory loca	Other	1
C-3792	Delivery, Purchaser Pickup	Other	1
C-3787	Payment Terms, 100% on Delivery and Acce	Other	1

WESTEX WELDING LLC

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Fredericksburg Fire Department
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January 6, 2025
Job #383

SPECIFICATION for BRUSH TRUCK

CHASSIS:

The customer furnished chassis shall be a Ford F550, 19,500 GVWR, 4X4, with 84" cab to axle, or equivalent.

SKID PLATE:

A steel skid plate shall be installed to protect the radiator, engine, transmission and transfer case.

CHASSIS CAB STEPS:

Commercial cab (Nerf Style) step bars, Black 3" steel tubing, #25-1325, full length extended cab, shall be bolted to the chassis frame rails.

APPARATUS BODY:

The flat bed shall be approximately 134" long by 96" wide, on 84" cab to axle chassis. The sub-frame of the body shall be made of 3" structural aluminum channel supporting the body and tank. Sub-frame cross members shall be made of 3" structural aluminum channel, welded in place approximately 18" apart.

All frame work shall be welded together and then bolted to the truck frame for easy removal.

The flat bed body shall have aluminum plate over laid on top of the channel frame.

There shall be angular skirting below the flat bed on each side of the rear wheels.

After the body is completed, it shall be totally disassembled, deburred and sanded.

Each part is then cleaned, primed and painted with DuPont "IMRON" enamel.

HEADACHE RACK:

In the front portion of the flat bed, directly behind and extending over the cab, there shall be a headache rack made of 2" tubing protecting the rear window, with a laser cut metal insert to reduce the potential of snagging fingers or clothing. The headache rack shall taper at the top to the contour of the chassis cab. A mounting platform for a light bar shall be provided at the front of the headache rack, over the chassis cab.

CUBICLES AND WALKWAY:

There shall be a step up cubicle approximately 22" wide and 24" deep, on each side in the front portion of the flat bed with a transverse walkway. This module shall be independent of the flatbed and constructed of steel. The step up cubicle floor shall be chassis running board height and shall be made of slip resistant "Grip Strut" material for an aggressive stepping surface to reduce the possibility of firefighter feet slipping below the gate.

There shall be pipe hand rails 40" high, made of 1.875" OD pipe on each side of the cubicle to protect the firefighters.

SAFETY GATES:

Safety gates made of 1" round tube, approximately 30" tall, with diagonal bracing, shall be installed 9" above the cubicle floor to secure the firefighter in each cubicle.

Safety gates with heavy duty hinge on the cab side, shall be installed to open into the cubicle space and be secured by self-closing gas struts pressing against a welded restraint plate.

REAR BUMPER:

The rear bumper shall be of 4"x 6" heavy wall rectangular steel tubing and attached directly to the frame with 0.5" plate and 5/8" Grade 8 bolts. Two (2) bolts, through side of the frame, and one (1) to the bottom of the frame rail with a tab, flat along the bottom of the frame rail, welding to the bumper framework. There shall be one (1) Class IV receiver hitch welded to the bottom center of the rectangular tubing. The receiver assembly will be for high or low angle rescue or winch applications. It shall be the same size as a Class IV trailer hitch. The back bumper shall be painted and covered with NFPA chevron striping. The top of the bumper shall be coated with Speedliner bedliner. An RV type (7-pin) plug shall be wired and mounted above the bumper.

BUMPER; FRONT END REPLACEMENT:

The chassis original front bumper shall be replaced by a tubular type commercial front end replacement bumper, with approximate 10" extension, with grille guard, black enamel coated with receiver tube.

WINCH - WARN:

A 12 volt WARN Zeon 10 Platinum winch with quick connect power supply cables. The removable 12 foot remote control cable connector shall be conveniently located.

PROTECTIVE COATING:

After the body is completed, all the manufactured parts are removed, disassembled, cleaned and primed. A gloss DuPont "IMRON" enamel shall be applied over the body and all manufactured parts.

COMPARTMENTS:

The flat bed body shall be designed with Aluminum plate sweep out compartments on each side. The compartment exterior shall be painted. The compartments are press formed for durability and appearance, welded and sealed watertight.

There shall be one [1] compartment on the drivers' side above the flat bed, approximately 48" long x 20" deep x 24" high.

This compartment shall have standard full drop down door.

There shall be one [1] compartment on the drivers' side above the flat bed aft of above compartment 48" long x 20" deep x 24" high.

This compartment shall have standard full drop down door.

There shall be one [1] compartment on the passenger side above the flat bed, approximately 48" long x 20" deep x 24" high.

This compartment shall have standard full drop down door.

There shall be one [1] compartment on the passenger side above the flat bed aft of above compartment 48" long x 20" deep x 24" high.

This compartment shall have standard full drop down door.

All drop down doors shall have stop bumpers mounted on lower body section.

VENTS:

Each compartment shall have stainless steel louvered vents installed.

TURTLE TILE:

The compartment floor and tool tray floor shall be lined with black Turtle Tile decking.

COMPARTMENT DOORS:

All doors shall be made of 10 GA. aluminum, double pan shell type, approximately 1-1/4" thick, equipped with safety slam locking latches with Hansen large bent D-ring stainless steel handles and neoprene gaskets, full length stainless steel hinges with 1/4" pins, pneumatic door struts, and sealed with an drip edge automotive type seal.

Doors shall be recess mounted for safety and streamline appearance.

COMPARTMENT LIGHTING:

LED compartment lights shall be installed in the sides of each compartment door for illumination. Each compartment door frame shall have a switch installed on the hinge side to activate the light in the compartment. The switch shall also activate a flashing warning light in the cab when the parking brake is released, labeled "DO NOT MOVE TRUCK", to indicate a compartment door has not been shut properly. Wiring inside the compartments shall be protected by the compartments walls to prevent wiring damage from equipment stored inside compartments.

ROLL-OUT EQUIPMENT TRAY:

One roll-out equipment tray shall be 1/8" aluminum, box type, with 3" high sides supported by ball bearing, extra heavy duty, track rails shall be provided. The tray shall slide fully out of the compartment with a fulcrum locking device for "in" and "out" positions. For winch storage, compartment to be determined prior to construction.

TOOL TRAY:

There shall be one (1) tray made of aluminum plate mounted above the passenger side compartment. This tray shall be approximately 12" high x 20" wide x 96" long. Compartment shall have lift up aluminum plate door with latch. All exterior surfaces shall be painted to match other compartments.

HOSE TRAY:

A hose tray approximately 12" high by 20" wide by 96" long, made of aluminum plate, for 150 ft of 1-1/2" double jacket hose, shall be mounted above drivers side compartment. Compartment shall have lift up aluminum plate door with latch and rear latching access hose door. All exterior surfaces shall be painted to match other compartments. The hose bed shall have a removable aluminum slatted floor with corrugated surface for proper hose drying ventilation.

UNDERBODY COMPARTMENT – SUCTION HOSE:

There shall be two (2) storage tubes below the flat bed and above the rear tailboard, to house one (1) section of PVC suction hose each. Maximum length of 10 feet, hoses will be cut to maximum length of storage compartment. The storage tubes shall have a stainless steel fully hinged door with Lift-N-Turn latches.

REEL:

There shall be (1) Hannay Electric/manual rewind reel, compact reel series F4000 model EF4038-17-18, mounted above the pump/engine module. The electric rewind control shall be a push button on the rear control panel. The reel shall have chrome steel spools and guide rollers mounted for rear display and rewind. The reel shall have a capacity of and be equipped with 100 ft of one inch 800 PSI Goodyear RED rubber booster hose, customer to provide nozzle.

PUMP FRAME:

The pump and engine are mounted on a steel angle iron frame to create a modular unit. This frame shall have built in anchor lugs for attaching to the flat bed body. Pump frame shall be elevated off the flatbed for ease of cleaning debris from unit. The hose reel shall be attached to brackets above the pump unit.

FIRE PUMP:

There shall be a Hale HPX200 Portable Combination pump, installed at the rear of the body. The pump delivers a range of 240 GPM at 20 PSI to 30 GPM at 150 PSI, with a prime operating range of 150 GPM at 100 PSI with a 2.5" suction and a 2.5" discharge, with manifold attached. **The pump shall be equipped with a Hale 12V Electric ESP (Environmentally Safe Priming) system.** The pump manifold shall be attached to the tank by a flexible 2.5" hose. A pump and engine operation manual shall be provided.

ENGINE:

The pump shall be powered by a 18 HP Briggs and Stratton Vanguard, horizontal shaft, air cooled, V-Twin, OHV, electric start gas engine. A low oil pressure light is mounted on the pump control panel. This engine has a 6 AMP alternator and a 1.4 liter oil capacity, and meets CARB standards. The engine spark arresting muffler exhaust shall be directed away from the control panel.

ENGINE FUEL TANK:

6 gallon EPA approved fuel tank shall be installed.

PUMP CONTROL PANEL:

There shall be a LED lighted pump control panel at the rear of the pump compartment, above the pump and engine, for easy access by the operator. Panel layout shall be similar to existing brush unit panels. The control panel shall have a start switch, throttle, choke control, and LOW OIL pressure warning light and one 2-1/2" discharge gauge. Valve control handles are all in easy reach of the operator. Identification plates shall be provided for all controls, gauges, switches, inlets, and outlets.

PLUMBING:

All plumbing shall be heavy duty stainless steel with flexible couplings.

There shall be a 1.5" stainless steel discharge at firefighter cubicle for whip lines.

1 - Pump drain petcock

2 - 1" x 8 ft whip lines installed at the firefighter cubicle

1 - 1.5" line plumbing for cubicle whiplines and front bumper sweep nozzles

CUBICLE DISCHARGE:

There shall be a 1.5" stainless steel discharge with 1" valves for [2] cubicle whip lines.

There shall be two [2] 1" x 8 ft whip lines, customer to provide nozzles.

VALVES, AKRON:

All valves shall be AKRON Brass 8800/8900 Series, Quarter turn ball, full flow, swing out style.

All valves shall be operated at their stations, within easy reach of the operator.

1 - 2.5" tank to pump no check valve

1 - 2.5" suction with female swivel and screen, at rear, with Chrome male plug and chain.

1 - 2.5" rear discharge valve, w/ 2.5"-1.5" reducer, with cap and chain

2 - 1" for walkway whip lines

1 - 1.5" tank refill valve

1 - 1" to hose reel

1 - 0.75" pump cooling line

1 - 1" Commercial quarter turn valve for tank sump drain, under body

FRONT SWEEP NOZZLES:

There shall be two fixed spray nozzles mounted below the front bumper, one on each side.

High pressure 1" crimp on fittings and rubber hose piping shall supply water to the spray nozzles.

Two (2) - 1" electric valves are mounted to control the front bumper spray nozzles.

There shall be two electric switches in the cab to control for each nozzle electric valve.

These nozzles allow the firefighter to drive along a brush fire line and contain the fire without leaving the cab. Wired to two up-fitter switches in the cab.

WATER TANK: NFPA 1901 Compliant

The rectangular design tank shall be made of 0.5" black polypropylene and shall have a 500 gallon capacity.

CONSTRUCTION

Plas-Mac, Inc. tanks shall be constructed out of ½" or ¾" thick, black PROTECTION SERIES III, matte finish black or smooth white co-polymer polypropylene. The PROTECTION SERIES III polypropylene is a non-corrosive; U.V. stabilized thermo-plastic developed by Plas-Mac, Inc. for exceptional impact strength with welding rod to match. The tank shall be designed to be completely independent of the truck body and compartments and shall be equipped with removable lifting eyes. The tank top, bottom, sides and ends shall be welded inside and outside using a microprocessor-controlled extrusion welding process. *** This process insures 100% weld penetration through the thickness of the plastic for maximum strength and durability.**

All exposed edges on the tank and fill tower will be rounded off to a 1/4" radius. The baffles (swash partitions) shall be made out of 3/8" or ½" natural color PROTECTION SERIES III polypropylene. They are designed to permit maximum airflow throughout the tank. They are designed to permit a minimum 1,000-gpm-water flow rate. The unique design of the baffles allows the tank to twist and flex with the truck adding to the integrity and durability of the tank. The baffles are interlocking with each other. The baffles are welded to each other as well as to the tank

sides, ends, and bottom of the tank. The baffles are internally connected to the top of the tank. This will keep the tank top ridged when fast filling. The top of the tank shall be smooth with the exception of the lifting eye. The lifting eyes are stainless steel j-bolts that hook into the baffles and extend through the top of the tank. They utilize jam nuts inside so the lifting eye will tighten up and prevent leakage.

FILL TOWER

The tank shall have a manual fill tower with a stainless steel strainer basket. The fill tower shall have a hinged cover with a built in vent. The fill tower shall be constructed of 1/2" PROTECTION SERIES III polypropylene. Located at front of tank.

FITTINGS

The tank shall have a suction fitting for the tank-to-pump connection. The fitting shall be a 3" heavy-duty polypropylene and welded inside and outside. The tank shall have a fill fitting. The fitting shall be 1 ½" NPT and shall be a heavy-duty polypropylene and welded inside and outside. The tank fill fitting shall be backed with flow deflectors inside the tank.

Each tank will have a drain fitting, 1-1/2" or 3" heavy duty polypropylene, welded inside and outside. The customer may change the sizes of these fittings as well as add additional fitting as required.

The water tank shall be mounted inside an angle iron frame with a rubber cushion base for shock protection. The water tank shall be held to the flat bed frame by four long bolts attached to an aluminum collar surrounding the top of the tank. Tank shall have rear external sight gauge.

The tank has a limited lifetime warranty.

TANK, FOAM:

The integral 10 gallon foam tank shall be a rectangular design and built inside the water tank in the rear right corner, or as requested. A 5" X 5" fill tower with hinged stainless steel flip up cover, is installed on top of the tank. There shall be a 1" foam tank to foam pump suction pipe fitting and vent valve installed. The tank shall be labeled for Class A foam, located at front of tank.

FOAM SYSTEM:

A FOAMPRO Model 1601 electronic Class A (only) foam system shall be installed. This is a fully automatic, variable speed direct injection, discharge side foam proportioning system. This system shall have a 1/3 HP, 12 VDC self priming positive displacement pump, capable of metering foam from 0.2%, 0.5%, and 1.0% at 1.0 GPM @ 200 PSI, with water pressure up to 400 PSI. This system shall have a remote mountable control panel with metering valve, built in check valve and pressure relief valve. The foam system shall be piped to the discharges you specify

ELECTRICAL COMPONENTS:

A weather tight electric junction compartment shall be provided for circuit breakers, flashers, heavy-duty solenoids and other major electrical controls. A removable cover shall be provided for access to this electrical junction compartment. Located in front driver's side compartment. All electrical lines in the body shall be protected by automatic circuit breakers. All lines shall be oversized for the intended loads. Wiring shall be protected from weather elements and snagging. Heavy duty woven loom shall be used and grommets shall be installed where wiring passes through panels. A heat resistant shielded loom is used in the engine compartment. Wire terminals are crimped. All electrical equipment shall be installed in accordance with NFPA #1901 standards.

MASTER SWITCH:

An ignition switch solenoid to isolate the OEM installed electrical loads when the apparatus is not in service.

EMERGENCY LIGHTING AND EQUIPMENT:

1 – Whelen Liberty II Solo series super LED, 54" with Red/Blue, takedowns and alley lights. Exact LED module layout will be discussed prior to order.
1 – Whelen CCSRN3A CenCom Sapphire siren system
1 – Whelen SA315P 100 watt composite speaker
2 – Whelen Model M6 series RED/CLEAR LENS LED, (1) on each side of grille
2 – Whelen Model M6 series RED/CLEAR LENS LED, (1) on each side of bumper
2 – Whelen Model M6 series RED/CLEAR LENS LED, (1) on each side of lower rear side
2 – Whelen Model M6 series RED/CLEAR LENS LED, (1) on each side of upper rear side
2 – Whelen Model M6 series RED/CLEAR LENS LED, (1) on each side of upper rear
2 – Whelen Model M6 series RED/CLEAR LENS LED, (1) on each side of lower rear
(All M6 lights shall be flashing and have chrome flange)

LIGHT BAR PROTECTION:

An aluminum light bar brush guard shall be installed.

CAB GROUND LIGHTS:

Two (2) Grote # 61E41 LED ground lights shall be installed under the cab step area, wired to activate when transmission is shifted into park.

GROUND LIGHTS – UNDER REAR STEP:

Two (2) Grote # 61E41 LED ground lights shall be installed under the rear step area, one on each side of the apparatus, wired to activate when transmission is shifted into park.

WORK LIGHTS:

Four (4) Grote # 61E41 LED step lights with clear lens shall be installed, wired to switch on cab dash. Location: in each corner of the tubing assembly to light the pump panel and front walkway area.

SCENE LIGHTS:

Six (6) Rigid Dually 20211 LED scene lights shall be installed. Location: Two (2) outward facing, each side of the body, two (2) rear facing and two (2) mounted to front grille guard as high as possible.

DOT LIGHTS, REFLECTORS AND CLEARANCE LIGHTS:

All LED D.O.T. lighting, (marker, clearance and reflector lights) as required by regulations, shall be installed. One triple RED cluster marker lights shall be installed at the rear of the body.

TAIL LIGHTS:

Whelen M6 series BTT, Back-Up and Turn Arrow with M6 Chrome flanges shall be installed.

LICENSE BRACKET:

A license plate bracket and LED light shield shall be installed.

BACK UP ALARM:

There shall be a Peterson Model 781, 107db back-up alarm installed at the rear of the apparatus. The alarm shall activate when the vehicle transmission is shifted into reverse.

BODY MUD FLAPS:

A pair of black heavy duty rubber mud flaps shall be installed behind the rear wheels.

TOW LOOPS:

No required.

CONTROL CONSOLE:

A Plastix Plus brand console shall be installed to fit Ford F550 Super Duty application. Will house siren, switches, cup holder and aux. equipment. Exact layout will be discussed prior to order.

RADIO INSTALLATION:

Department will install after delivery.

CAMERA:

A CabCam, single camera with 7" LCD monitor shall be installed.

BATTERY CHARGER / BATTERY SAVER / AUTO EJECT:

A Kussmaul Model 091-56-12-S-KIT, single battery system, with single remote LED bar graph indicator, shall be installed. This kit consists of an Auto Charge 1000, 120 volt AC input, 18 Amp DC total output automatic battery charger with Battery Saver, and a Auto Eject 20WP.

Rechargeable hand lights and radios are connected to the 3 AMP "Battery Saver" circuit output.

A sealed #091-55-20-120 Super Auto Eject solenoid wired to the vehicle's starter instantaneously drives the plug from the receptacle when the engine is started. The auto eject device eliminates broken cables which result when the shore line is not removed before driving away.

The auto eject shore line power inlet shall have a spring loaded weather proof cover with a plate permanently affixed indicating "120 Volt AC, 20 AMPS".

Auto eject installed driver's side rear post, see reference photos for exact location.

LETTERING:

Department will install after delivery.

STRIPING:

Department will install after delivery.

CHEVRON STRIPING:

A chevron (inverted V) pattern, consisting of 6" alternating 3M dimensional red/yellow reflective striping, shall be installed on a minimum of 50% of the front and rear of the apparatus.

WRENCHES:

There shall be one [1] Set with (2) spanner wrenches and (1) hydrant wrench, with mounting bracket installed as directed.

SUCTION HOSE:

Two (2) 2.5" x up to 10' PVC Kocheck suction hose shall be provided. Cut to Maximum length to fit in underbody compartment.

STRAINER:

2.5" floating self-leveling Kocheck strainer shall be provided.

WARRANTIES: (attached to this proposal)

ONE [1] YEAR WARRANTY BY WESTEX ON APPARATUS CONSTRUCTION
LIMITED TEN [10] YEAR WARRANTY BY PLAS-MAC ON POLY WATER TANK
PUMP WARRANTED FOR THREE [3] YEARS BY HALE.

CONFIRMATION:

Telephone conversations regarding this proposal are welcomed, however, comments will not be considered official and neither shall these statements bind either party until confirmed in writing. Contract orders or changes shall become valid only after receipt of written confirmation. All exceptions must be submitted in writing.

COMPLETION AND INSTALLATION:

Apparatus shall be completed approximately 90 working days after receipt of chassis, pump and tank. Completed Apparatus shall be installed on your truck chassis at Westex Welding LLC facility.

DELIVERY AND TRAINING, [FOB WESTEX]:

Apparatus shall be completed, ready for delivery at Westex Welding LLC facility.
The completed apparatus shall be picked up by the customer at the WESTEX facility.
A qualified apparatus operator shall instruct fire department personnel in the proper operation, care and maintenance of the equipment delivered, not to exceed four hours.

PRICE;

Flat Bed Apparatus body, HALE HPX200 pump, 500 Gallon Poly Tank, and specified accessories installed on customer furnished 84" cab to axle chassis:

\$93,713.31

FOB: WESTEX WELDING LLC

Price valid for thirty (30) days.

Payment is due to WESTEX WELDING LLC at customer pickup of apparatus at Westex Welding LLC facility.

Customer shall furnish all equipment and accessories not mentioned in this specification.

Due to the volatility of the industry, prices are subject to change without notice.
Thank you for considering Westex Welding LLC for your fire apparatus needs.

Sincerely,

Kenneth Matus





CITY COUNCIL AGENDA MEMO

DEPARTMENT: City Secretary

TO: Mayor & City Council Members

FROM:

MEETING DATE: February 4, 2025

CATEGORY: OTHER ACTION ITEMS AND
UPDATES

CAPTION: Consider and approve a replacement 2025 Tahoe Police Pursuit Vehicle for the Police Department. (Derek Seelig, Police Lt.)

PRESENTATION:

SUMMARY:

BACKGROUND:

FUNDING SOURCE:

FINANCIAL IMPACT:

STAFF RECOMMENDATION:

COMPREHENSIVE PLAN GUIDING PRINCIPLE:

Neighborhood Quality

Workforce

Tourism

City Center

Mobility

Small Town Sensitive Growth

Governance

ATTACHMENTS:

1. 2025 Tahoe Replacement-PD
2. Memo for Replacement Tahoe

APPROVAL/REVIEW:



Leticia Vacek, City Secretary

Date: January 29, 2025



Seelig Derek, Lieutenant Patrol Division

Date: January 29, 2025



Krista Wareham, Director of Finance

Date: January 29, 2025



William McKamie, City Attorney

Date: January 29, 2025



Clinton Bailey, City Manager

Date: January 30, 2025

QUOTE#12925 (PATROL)

CONTRACT PRICING WORKSHEET

End User: FREDERICKSBURG POLICE DEPARTMENT	Contractor: CALDWELL COUNTRY
Contact Name: CHIEF BRIAN VORAUER LT. DEREK SEELIG	CALDWELL COUNTRY
Email: BVORAUER@FBGTX.ORG DSEELIG@FBGTX.ORG	Prepared By: BEN LAUREANO Averyt Knapp
Phone #: 830-997-7585	Email: aknapp@caldwellcountry.com
Fax #:	Phone #: 979-200-8149 979-567-6116
Location City: FREDERICKSBURG, TX	Fax #: 979-567-0853
Date Prepared: January 29, 2025	Address: P. O. Box 27, Caldwell, TX 77836
Contract Number: BUY BOARD #724-23	Tax ID # 87-3266036
Product Description: 2025 CHEVROLET TAHOE PPV CC10706	
A Base Price & Options:	\$53,522

B Fleet Quote Option:

Code	Description	Cost	Code	Description	Cost
	7X3-LH LED SPOTLIGHT, PPV, 5.3L-V8, 10-SPD AUTOMATIC, LOCKING REAR AXLE DIFFERENTIAL, DUAL BATTERIES, CLOTH BUCKET, 5Y1-CENTER SECTION DELETE, VINYL REAR BENCH, FULL RUBBER FLOOR, AIR CONDITION FRONT AND REAR, AMFM- STEREO W/BLUETOOTH, TILT, CRUISE, POWER WINDOWS, POWER LOCKS, POWER MIRRORS, KEYLESS ENTRY, DEEP TINT GLASS, RUNNING BOARDS, TRAILER TOW HITCH, REAR VISION CAMERA, FLASHER SYSTEM HEADLAMP AND TAILLAMP DRL COMPATIBLE W/CONTROL WIRE, SURVEILLANCE MODE INTERIOR LIGHTING, CALIBRATION TAILLAMP FLASHER RED/WHITE, CALIBRATION TAILLAMP FLASHER RED/RED, FOUR REMOTES & FOUR KEYS ALL IN ONE	INCL			
	GM WARRANTY 5YR/100,000 MILES POWERTRAIN @ N/C	INCL		CALDWELL COUNTRY PO BOX 27 CALDWELL, TEXAS 77836	

	PRICES VALID FOR 30 DAYS BUT SUBJECT TO CHANGE DUE TO SUPPLY CHAIN CHALLENGES			REVERIFY PRICING BEFORE ISSUING PURCHASE ORDER. COMMODITY SURCHARGES MAY APPLY AFTER PO ISSUED	
Subtotal B					INCL
C Unpublished Options					
Code	Description	Cost	Code	Description	Cost
Subtotal C					
D Other Price Adjustments (Installation, Delivery, Etc...)					
Subtotal D					INCL
E Unit Cost Before Fee & Non-Equipment Charges (A+B+C+D)					\$53,522
Quantity Ordered					1
Subtotal E					\$53,522
F Non-Equipment Charges (Trade-In, Warranty, Etc...)					
BUY BOARD					\$400
G. Color of Vehicle: WHITE					
H. Total Purchase Price (E+F)					\$53,922
Estimated Delivery Date:					Q2-Q3 2025 APPX



Fredericksburg Police Department

Brian W. Vorauer 1601 East Main Street, Fredericksburg, Texas 78624
Chief of Police Telephone (830) 997-7585 Fax (830) 997-9541

Memo

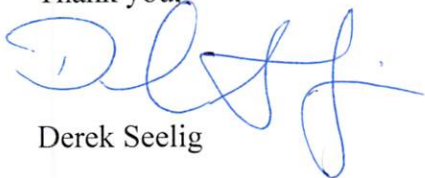
To: Mayor and City Council
From: Lieutenant Derek Seelig
CC: Chief Brian Vorauer
Date: January 29, 2025
Re: Consider and approve a replacement 2025 Tahoe Police Pursuit Vehicle for the Police Department

On Thursday, 01/16/2025, at approximately 12:12 PM, a Fredericksburg Police Department officer was involved in a motor vehicle accident at the intersection of W. Main St. and Milam St. The patrol unit that the officer was operating, a 2024 Chevrolet Tahoe PPV sustained significant damage to the front of the vehicle and was subsequently totaled by the insurance company.

Insurance is paying \$53,000 for the patrol unit, less the deductible of \$5,000, for a total of \$48,000. A new 2025 Chevrolet Tahoe PPV costs \$53,922. If approved to purchase a new Tahoe, the City of Fredericksburg would be responsible for paying the remaining balance of \$5,922.

It is my recommendation that the mayor and council approve the police department's request to purchase a replacement 2025 Chevrolet Tahoe PPV.

Thank you,



Derek Seelig



CITY COUNCIL AGENDA MEMO

DEPARTMENT: City Secretary

TO: Mayor & City Council Members

FROM:

MEETING DATE: February 4, 2025

CATEGORY: ITEMS FOR FUTURE AGENDA

CAPTION: City Manager Bailey will review the Future Agenda Items and Meetings with the Council.
(Clinton Bailey, City Manager)

PRESENTATION:

SUMMARY:

BACKGROUND:

FUNDING SOURCE:

FINANCIAL IMPACT:

STAFF RECOMMENDATION:

COMPREHENSIVE PLAN GUIDING PRINCIPLE:

Neighborhood Quality

Workforce

Tourism

City Center

Mobility

Small Town Sensitive Growth

Governance

ATTACHMENTS:

1. Future Agenda Items List 02-04-2025 (2) (1)

APPROVAL/REVIEW:

Date: January 29, 2025

Leticia Vacek, City Secretary



Date: January 30, 2025

William McKamie, City Attorney



Date: January 30, 2025

Clinton Bailey, City Manager

City Council Future Agenda Items/Meetings

February 18, 2025

2/18	Interlocal Agrmt w/FISD-Municipal Court Case Mgr Action		Shelley Becker	Municipal
Judge				
2/18	3 ORDs- ROW, Annex, Zone@648/652 Postoak	Action	Shelby Collier	Dev Services
2/18	STR Denial Appeal for 502 Eagle Street Unit 102	Action	Shelby Collier	Dev Services
2/18	ORD - Restrict drones to protect privacy	Action	Hoover/McKamie	Mayor/City Atty
2/18	RES – City 's Support for rehab of Senior Apartments	Action	Hoover	Mayor
2/18	Update on Sidewalk Plan	Action	Kris Kneese	Public Works Dir

Future Agenda Items/Future Council Meetings

3/04	Z-2427 Annexation (ROW) – 612 Holmig (39 Acres)PH		Shelby Collier	Dev Services
3/18	Z-2427 Annexation (ROW/Parcel)/Land Use/ZoningPH		Shelby Collier	Dev Services
3/18	Z-2501 PUD Trails of Windcrest (70 Acres)	PH/Action	Shelby Collier	Dev Services
3/18	Z-2504 Keller Oaks CUP (Townhomes/Condos)	PH/Action	Shelby Collier	Dev Services
3/18	Z-2426 610 W Main(CUP/Standardized Business)	PH/Action	Shelby Collier	Dev Services
3/18	ORD - Vape/Smoke Shops distance from schools	Action	Mick McKamie	City Attorney
4/01	Z-2427 4-ORD Annexation (ROW/Parcel), LU, Zoning	Action	Shelby Collier	Dev Services
5/20	THF Public Hearing (Housing)	PH/Action	Shelby Collier	Dev Services

Upcoming Meetings/Events

February 4, 2025 - Council WS-Annexations, Transportation/Rd Exten, & Chamber, EDC, CVB Operations/Funding @11am E Campus

February 12, 2025 – Coffee with the City Manager @ 8am at Golf Course

February 20, 2025 – Appreciation Dinner for Board & Commission Members @ 6pm Hangar Hotel

February 25, 2025 – Citizen University @ 6pm at East Campus – Department Topics: City Attorney & City Secretary



CITY COUNCIL AGENDA MEMO

DEPARTMENT: City Secretary

TO: Mayor & City Council Members

FROM:

MEETING DATE: February 4, 2025

CATEGORY: EXECUTIVE SESSION

CAPTION: Consideration of the appointment for an Alternate Municipal Court Judge. (Shelley Becker, Presiding Judge) -Texas Government Code Section 551.074

PRESENTATION:

SUMMARY:

BACKGROUND:

FUNDING SOURCE:

FINANCIAL IMPACT:

STAFF RECOMMENDATION:

COMPREHENSIVE PLAN GUIDING PRINCIPLE:

Business Visioning

Government Vision

Family Life Vision

Quality of Life Vision

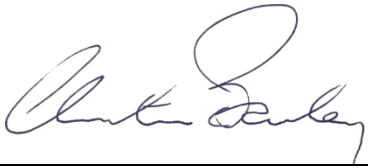
ATTACHMENTS:

None

APPROVAL/REVIEW:

William McKamie, City Attorney

Date: January 27, 2025

A handwritten signature in blue ink, appearing to read "Clinton Bailey", written over a horizontal line.

Clinton Bailey, City Manager

Date: January 27, 2025



CITY COUNCIL AGENDA MEMO

DEPARTMENT: City Manager

TO: Mayor & City Council Members

FROM:

MEETING DATE: February 4, 2025

CATEGORY: EXECUTIVE SESSION

CAPTION: Consultation with City Attorney - Former Texas Rangers Foundation 380 Agreement and Ground Lease - Texas Government Code Section 551.071.

PRESENTATION:

SUMMARY:

BACKGROUND:

FUNDING SOURCE:

FINANCIAL IMPACT:

STAFF RECOMMENDATION:

COMPREHENSIVE PLAN GUIDING PRINCIPLE:

Business Visioning

Government Vision

Family Life Vision

Quality of Life Vision

ATTACHMENTS:

None

APPROVAL/REVIEW:

Clinton Bailey, City Manager

Date: January 14, 2025



Garret Bonn, Assistant City Manager

Date: January 14, 2025



William McKamie, City Attorney

Date: January 14, 2025



Clinton Bailey, City Manager

Date: January 17, 2025